

GENERAL NOTES

The Contractor shall thoroughly examine the premises and shall base his or her bid on the existing conditions. The Contractor shall notify the architect immediately of any discrepancies between the drawings and the actual field conditions. The Contractor shall verify and be responsible for all dimensions and filed conditions.

The work included under this contract shall include all labor, materials, transportation tools and equipment necessary for the construction of the project, leaving all work ready for use.

Prior to construction, discrepancies between the architectural and engineering drawings should be reported to the architect.

The Contractor shall be responsible for providing all materials and workmanship in accordance with the applicable building code, handicap access code and all applicable ordinances, including state and local building codes and requirements.

These plans indicate the general extent of demolition and new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of these documents shall be included regardless of whether shown on the drawings or in the notes. Do not demolish any items that appear structural, unless specifically indicated to be demolished in the construction document, without prior review and written approval by the Architect.

Any errors, omissions, and conflicts found in these construction documents shall be brought to the attention of the architect and owner for clarification before proceeding with work.

All dimensions shall be verified.

The Contractor shall confirm in writing approximate on-site delivery dates for all construction items as required by the construction documents, and shall notify the Architect in writing of any possible delays affecting occupancy.

The Contractor shall provide a schedule for construction as required to meet the Owners phasing requirements and ultimate completion date.

The Contractor shall verify that no conflicts exist in the location of any and all mechanical, electrical, telephone, lighting, plumbing and fire sprinkler work (including piping, ductwork, and conduit), and that all clearances for installation and maintenance are provided.

No work defective in construction or quality or deficient in any requirement of the contract documents will be acceptable in consequence of the Owner's or Architect's failure to discover or point of deficiencies or defects during construction. Defective work revealed within the time required by the guarantees shall be replaced by work conforming to the intent of the contract. No payment, either partial or final, shall be construed as acceptance of defective work or improper materials.

The Contractor shall take care not to damage existing construction and shall be responsible for replacing all damages cause by contractor and sub-contractors.

The Contractor shall review, approve, stamp, and submit with reasonable promptness and in such sequence as to cause no delay in the work, product data, shop drawings and samples for the project.

By approving, stamping, and submitting shop drawings, product data and samples, the Contractor represents that he or she has determined and verified materials, field measurements, and field construction criteria related thereto and that he has checked and coordinated the information within such submittals with the requirements of the work and contract documents.

The Contractor shall not be relieved of responsibility for any deviation from the requirements of the contract documents by the Architect's review of the shop drawings, product data or samples, unless the Contractor has specifically informed the Architect in writing of such deviation at the time of submission and the Architect has given written approval to the specific deviation.

The Contractor shall submit to the Architect two (2) prints, typically, of each shop drawing submittal plus two (2) copies of either product data or samples.

The Architect assumes no responsibility for dimensions or quantities on review submittals.

Substitutions, revisions and/or changes must have prior written approval by the Architect.

The Contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use by all trades and shall provide all subcontractors with current construction documents as required.

The Contractor shall provide complete product data and related information appropriate for the owner's maintenance and operation of products furnished under the contract.

Work under this Contract shall be warranted by the Contractor against all defects for one (1) year from the date of substantial completion of the work or designated portions thereof or for one (1) year after acceptance by the Owner of designated equipment. In case of items remaining uncompleted after the date of substantial completion, the one-year warranty period shall be form date of acceptance of such items.

Each trade shall examine the premises to insure that conditions are appropriate for his or her work to commence, prior to commencing his or her work. Areas not appropriate shall be brought to the attention of the Architect. Commencing work implies acceptance of existing conditions.

The General Contractor shall assist in the coordination and be responsible for the installation of N.I.C. items, including but not limited to furniture, equipment, appliances, plumbing fixtures, dishwashers, voice/data cabling, telephone work, etc.

The Contractor shall be responsible for complete installation as required of accessory items including sink, dishwasher, refrigerator, laundry equipment, etc.

All drawings and notes are considered complementary, and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

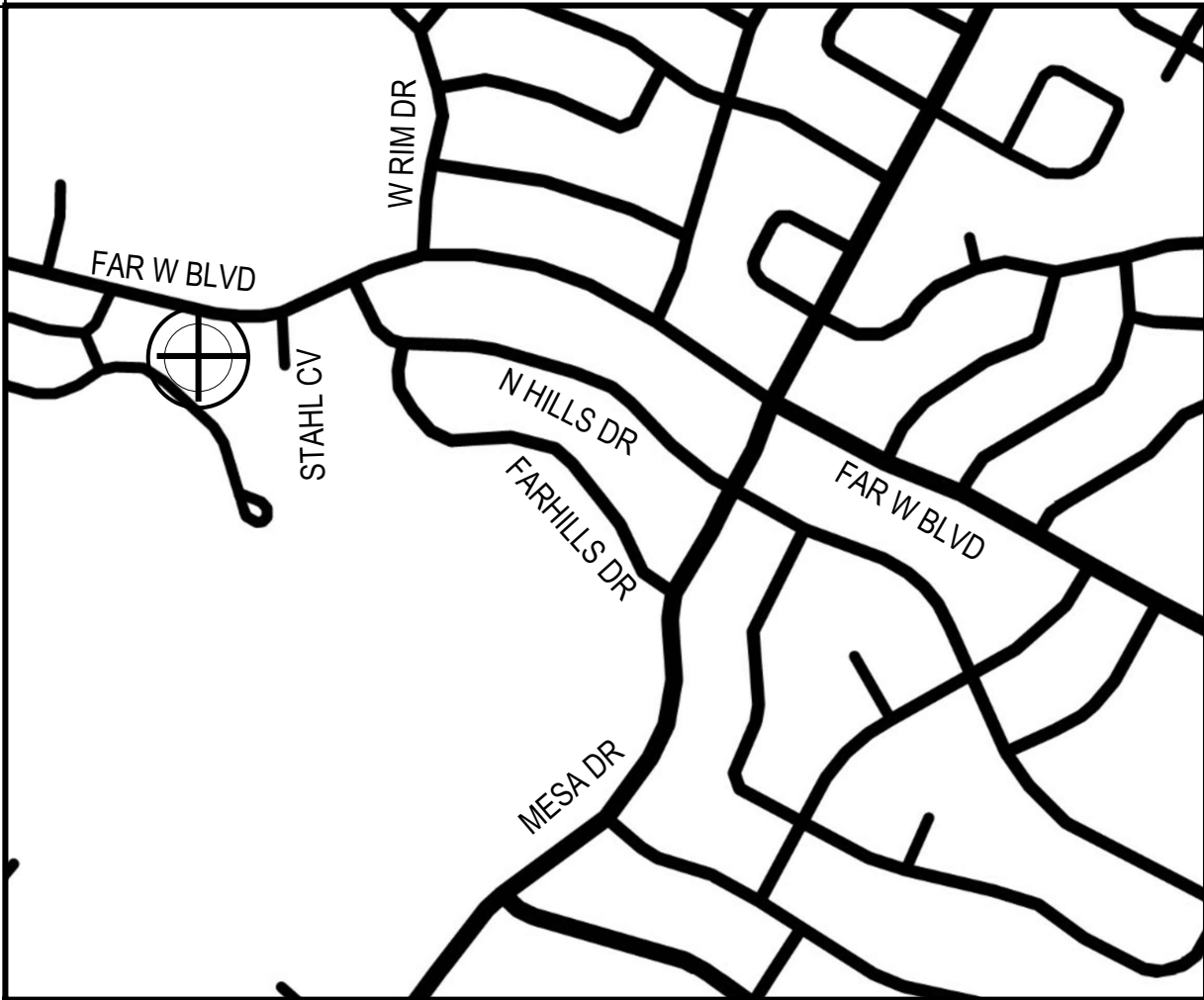
Verify all architectural details and coordinate drawings with structural and MEP drawings before initiation of any related work.

All installations shall be in accordance with manufacture's specification, industry and building standards, and code requirements. Sealants, weather stripping, and flashing locations in drawings are not intended to be inclusive.

Larger scale detailed drawings superceded small scaled elevation and plan drawings.

All work pertaining to or affected by this contract shall conform to applicable building code.

LOCATION MAP



SYMBOLS

- ELEVATION NUMBER
- SHEET NUMBER
- ELEVATION/ SECTION NUMBER
- DETAIL NUMBER
- DOOR TAG
- WINDOW TAG

CODE ANALYSIS

JURISDICTIONAL AUTHORITY: CITY OF AUSTIN

APPLICABLE BUILDING CODES:
(UNLESS SUPERCEDED BY JURISDICTIONAL AUTHORITY)

BUILDING:
2021 INTERNATIONAL RESIDENTIAL CODE W/ LOCAL AMENDMENTS

MECHANICAL:
2021 UNIFORM MECHANICAL CODE W/ LOCAL AMENDMENTS

ELECTRICAL:
2021 NATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS

PLUMBING:
2021 UNIFORM PLUMBING CODE W/ LOCAL AMENDMENTS

FIRE:
2021 INTERNATIONAL FIRE CODE W/ LOCAL AMENDMENTS
2015 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC)

ENERGY:
2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS

SHEET INDEX

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 - F1 LOWER LEVEL FRAMING PLAN
 - F2 MAIN LEVEL FRAMING PLAN

EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

DIRECTORY

ARCHITECT:
ERIC BARTH
1804 E 40TH ST
AUSTIN TX 78722
512-413-0273

STRUCTURAL ENGINEER:
FORT STRUCTURES
2120 E 7TH ST, #200
AUSTIN TX 78702

PROJECT DATA

LEGAL LOT DESCRIPTION:
LOT 37 AND 38 BLOCK I NORTHWEST HILLS, SECTION SEVEN, VOLUME 26, PAGE 32 PLAT RECORDS, TRAVIS COUNTY, TX

ADDRESS:
4315 FAR WEST BLVD
AUSTIN TX 78731

PROJECT DESCRIPTION:
REMODEL AND ADDITION TO AN EXISTING 2-STORY WOOD FRAMED HOUSE

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APPROVAL, OR
CONSTRUCTION

A0.0
COVER SHEET

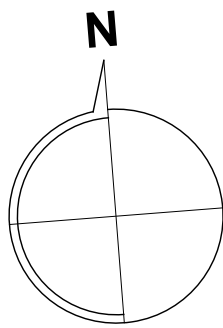
FAR WEST REMODEL

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

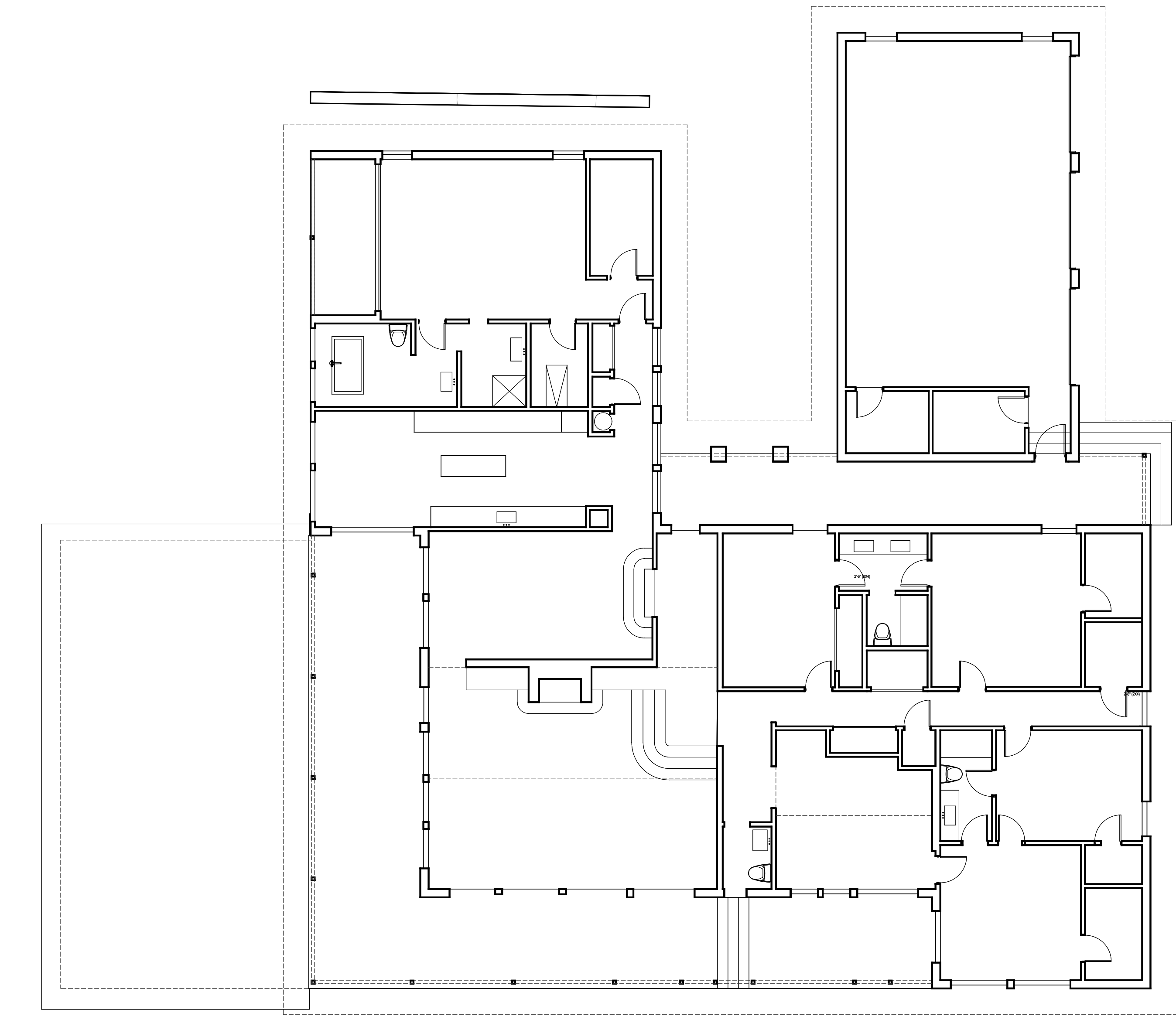
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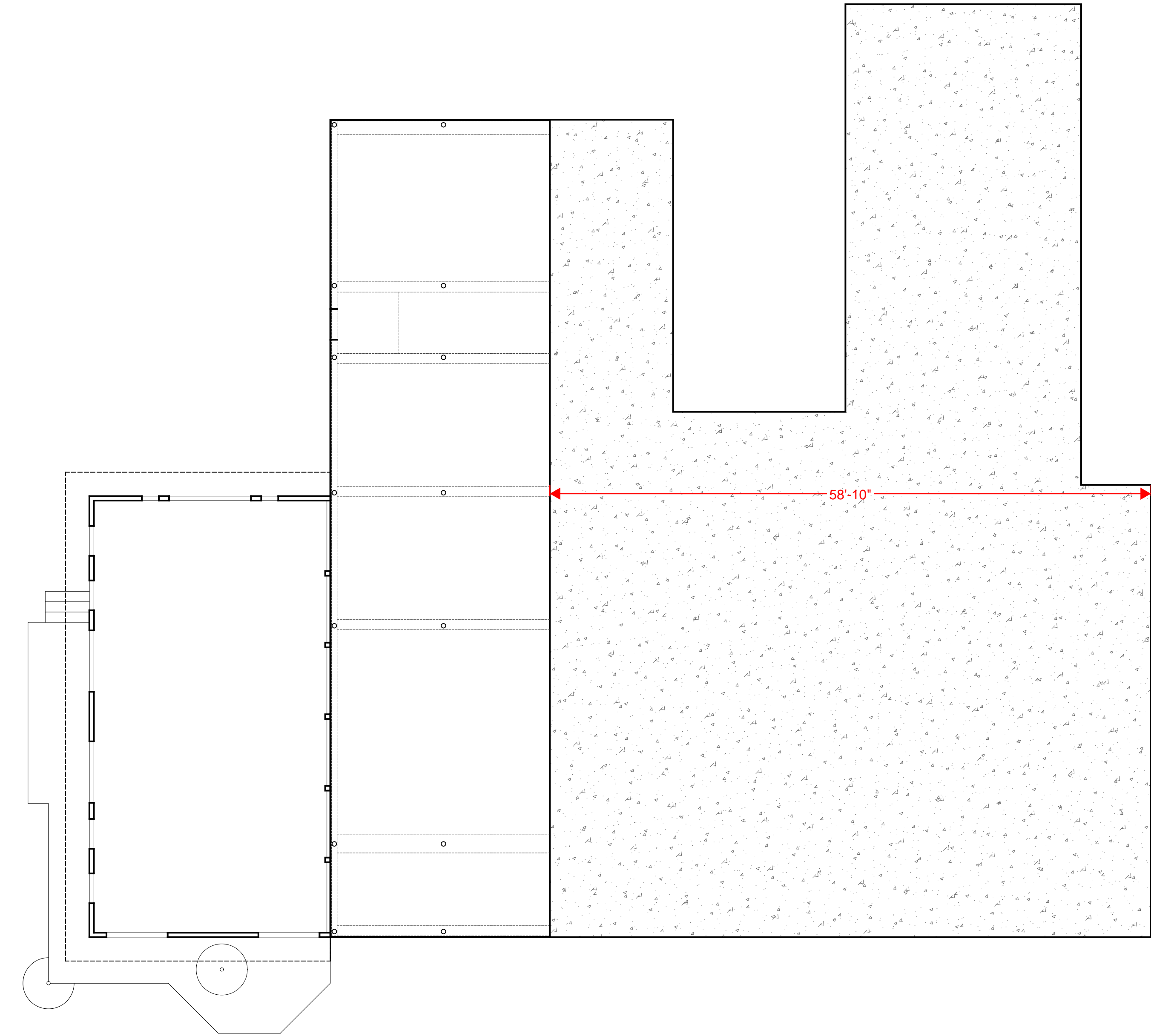
AS-BUILT EXISTING CONDITIONS



AS-BUILT DRAWINGS - MAIN LEVEL

0 4'-0" 8'-0" 16'-0" SCALE: 1/8" = 1'-0" ON 24X36
SCALE: 1/16" = 1'-0" ON 12X18

02

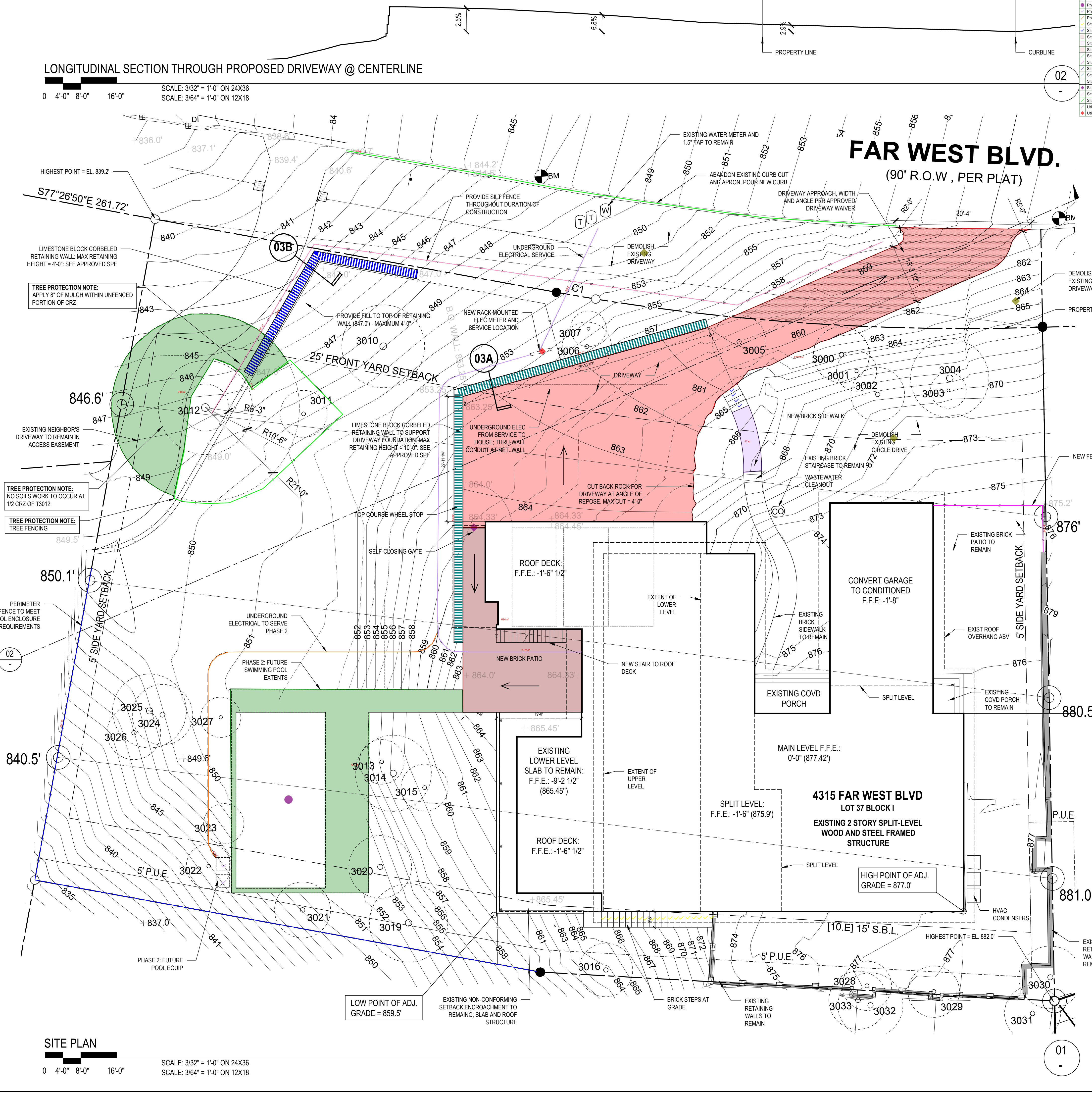
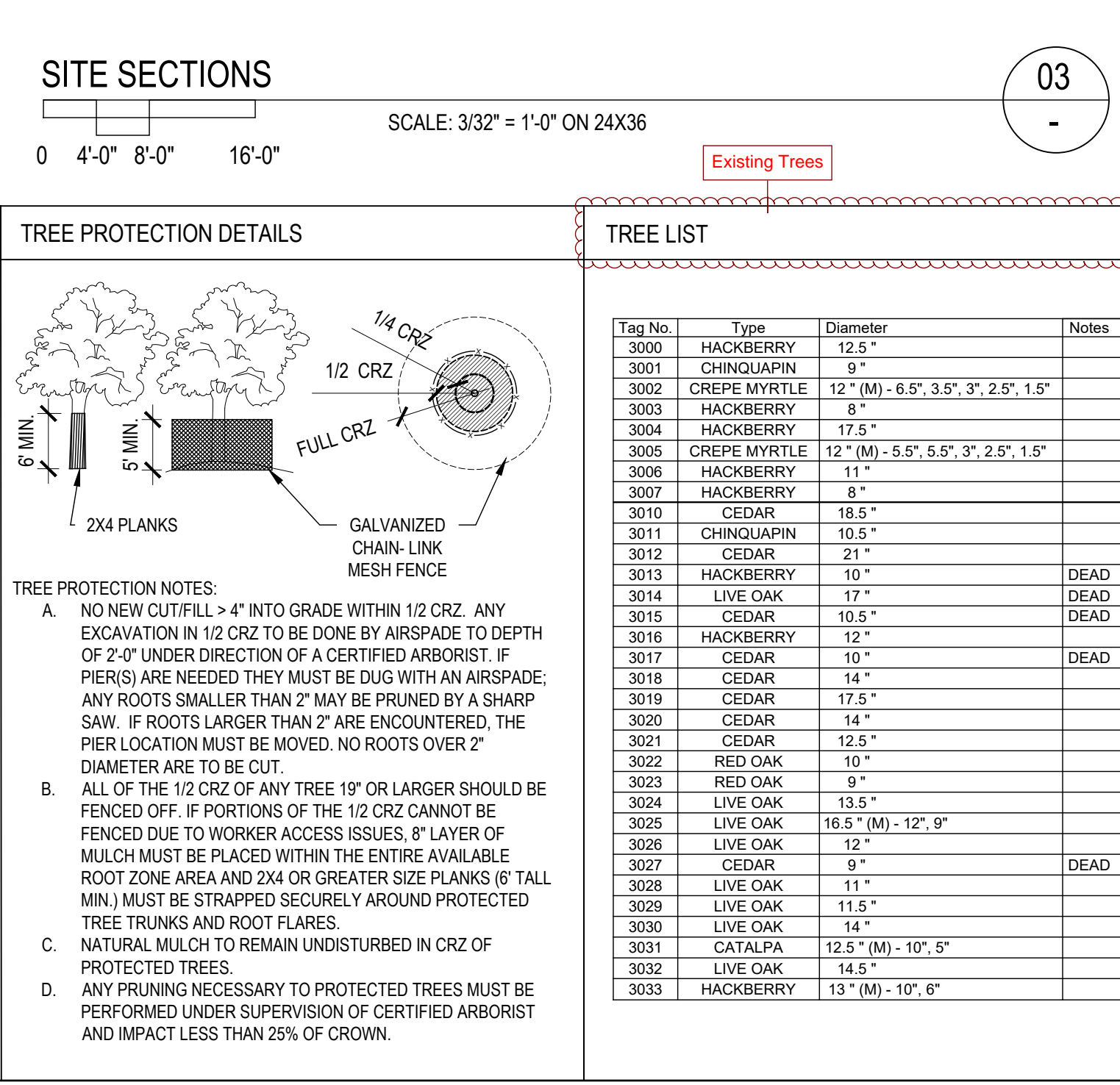
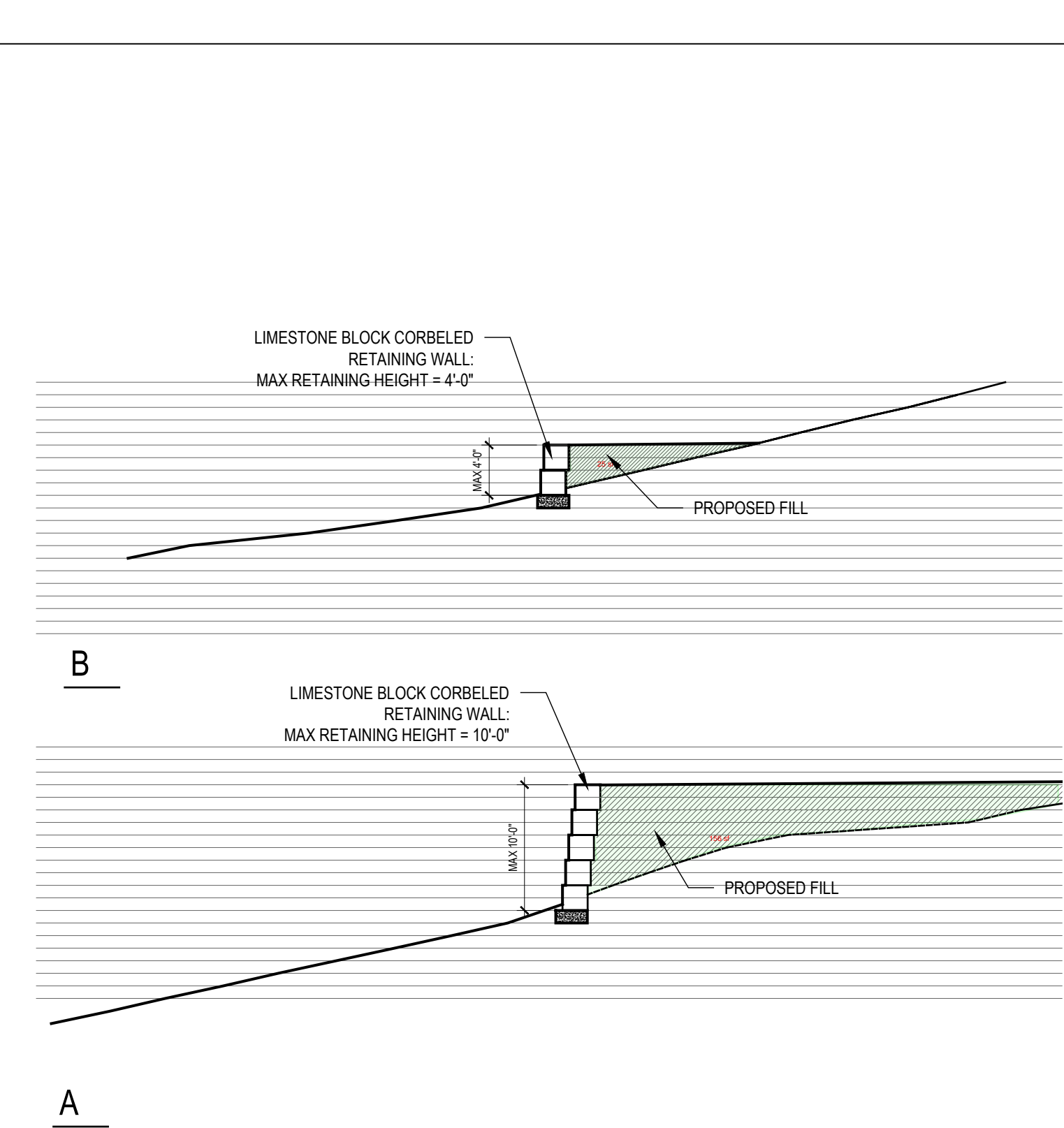
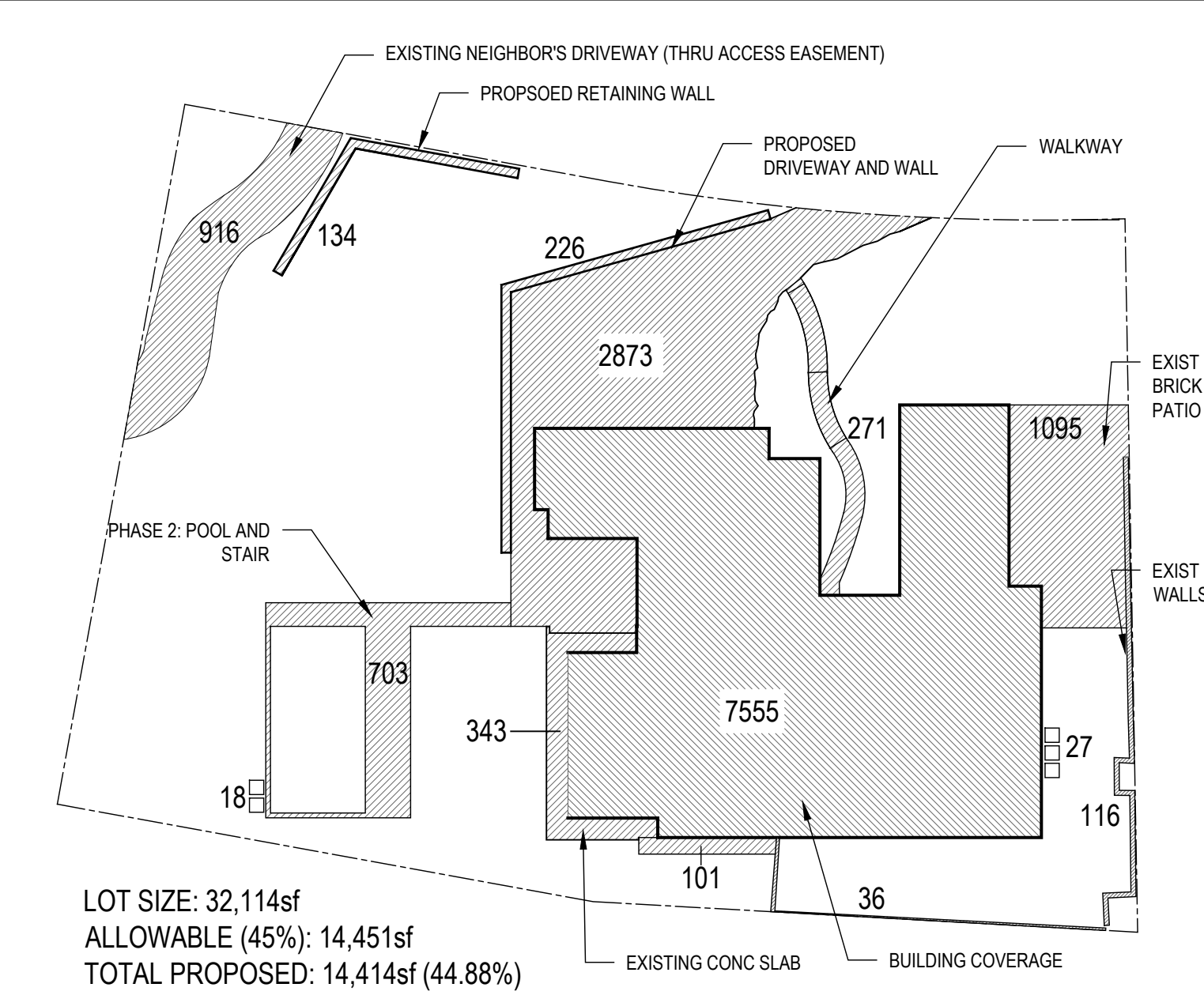


AS-BUILT DRAWINGS - LOWER LEVEL

0 4'-0" 8'-0" 16'-0" SCALE: 1/8" = 1'-0" ON 24X36
SCALE: 1/16" = 1'-0" ON 12X18

01

IMPERVIOUS COVERAGE ANALYSIS



FAR WEST REMODEL

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A1.1
SITE PLAN

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Legend

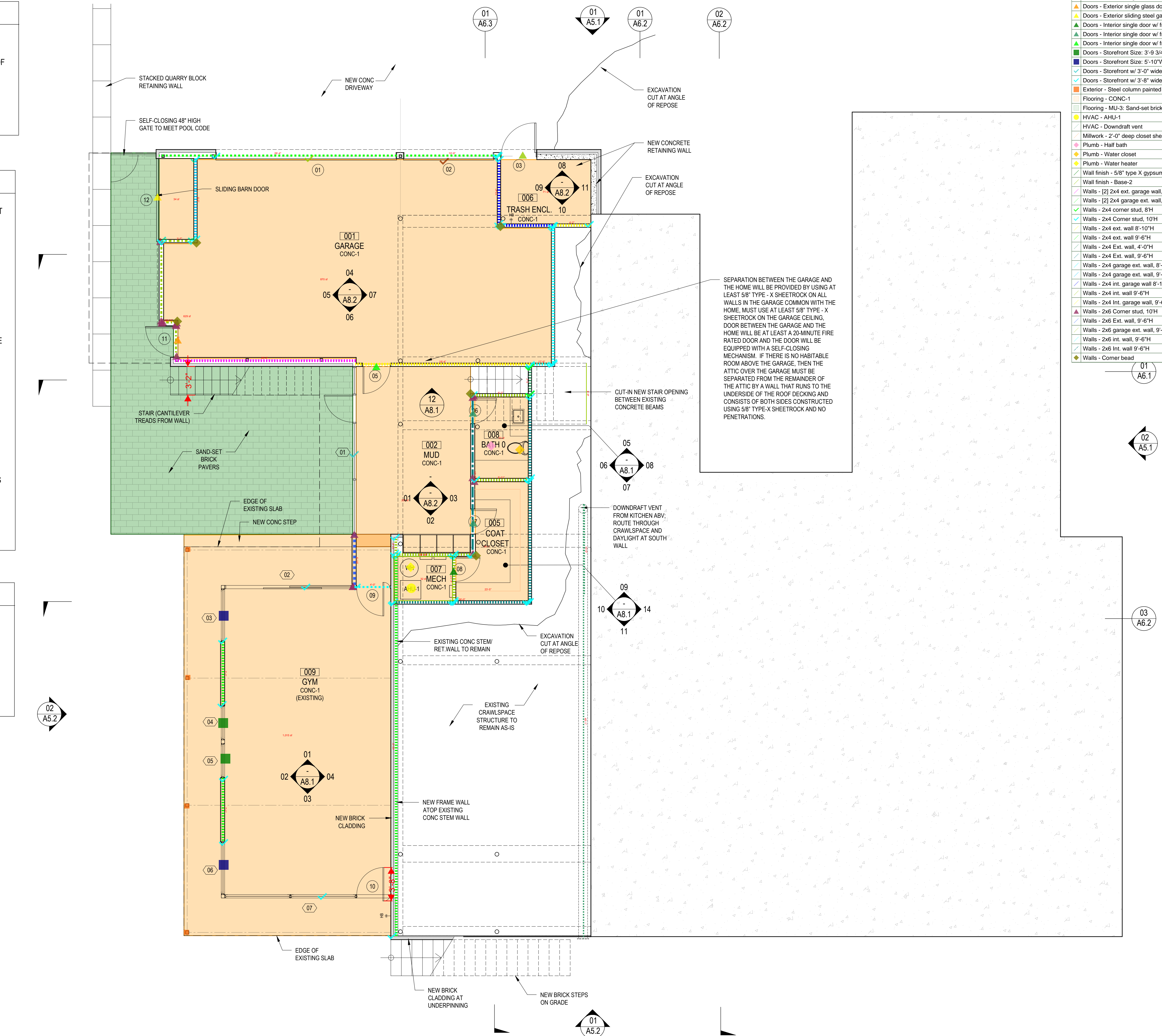
Description	Quantity	Unit
Demol - Site - Existing driveway to be removed at its entirety. Extent verified in field	745	sf
Phase - 2 - Landscaping for CRZ tree	726	sf
Phase - 2 - Perimeter fence to meet pool requirements (Future)	184.71	ft
Phase - 2 - Pool Size: 39'-3" x 20'-0" (Future)	1	Count
Phase - 2 - Utilities - Pool equipments (Future)	2	Count
Phase - 2 - Utilities - Underground service line to pool (Future works)	197.38	ft
Site - 3'-6" wide brick steps	19	Count
Site - 4'-0" wide brick steps	4	Count
Site - Brick patio Sand set brick pavers	424	sf
Site - Brick sidewalk	57	sf
Site - Concrete driveway	2,839	sf
Site - Curb	124.47	ft
Site - Fence	34.94	ft
Site - Footing - 2'-6"W x 1'-0"D concrete footing w/ standard reinforcement, Walls	53.38	ft
Site - Footing - 2'-6"W x 1'-0"D concrete footing w/ standard reinforcement, Walls	113.37	ft
Site - Proposed fill for retaining wall	181	sf
Site - Self-closing gate Size: 5'-0"W x 4'-0"H	1	Count
Site - Silt fence	175.03	ft
Site - Tree protection fence	117.13	ft
Utilities - 600 amp Underground service line	140.99	ft
Utilities - Rack mounted electric meter and service	1	Count

- FLOOR PLAN GENERAL NOTES:
- 1.) ALL EXISTING EXTERIOR FRAME WALLS TO REMAIN UNLESS NOTED OTHERWISE
 - 2.) ALL NEW EXTERIOR FRAME WALLS TO BE 2X4 UNLESS NOTED OTHERWISE.
 - 3.) ALL NEW INTERIOR WALLS TO BE 2X4 UNLESS NOTED OTHERWISE.
 - 4.) ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF MASONRY, OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.
 - 5.) PROVIDE SMOKE DETECTOR SYSTEM AT EACH SLEEPING ROOM AND VICINITY IN ACCORDANCE WITH IRC R314
 - 6.) PROVIDE CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF SLEEPING ROOMS IN ACCORDANCE WITH IRC R315

- WILDLAND URBAN INTERFACE NOTES
- 1.) THIS PROJECT WILL MEET THE REQUIREMENTS OF THE 2015 WILDLAND-URBAN INTERFACE CODE AND WILL BE CONSTRUCTED TO THE CLASS A IGNITION-RESISTANT REQUIREMENTS OF THIS CODE. PLEASE SEE APPROVED MATERIAL INDEX FOR CONSTRUCTION REQUIREMENTS AND MATERIAL TO BE USED.
 - 2.) ALL VENTILATION OPENINGS, INCLUDING BUT NOT LIMITED TO ATTIC VENTS, UNDERFLOOR VENTS OR ANY VENT IN THE EXTERIOR WALLS, SHALL BE CONSTRUCTED USING A NON-COMBUSTIBLE MATERIAL AND SHALL BE PROVIDED WITH EMBER PROTECTION IN ACCORDANCE WITH IWUIC 504.10 (AMENDED). DRYER VENTS AND TYPICAL ROOF PLUMBING VENT STACKS ARE EXCLUDED.
 - 3.) THE ROOF MUST BE A CLASS A ROOF ASSEMBLY IN ACCORDANCE WITH IWUIC 504.2. ENSURE ROOF VALLEYS COMPLY WITH 504.2.1 WHERE APPLICABLE.
 - 4.) EXTERIOR GLAZING WILL HAVE A FIRE PROTECTION RATING OF 20 MINUTES OR MORE IN ACCORDANCE WITH IWUIC 504.8 (AMENDED)
 - 5.) EXTERIOR DOORS WILL HAVE A 20 MINUTE OR MORE FIRE RATING AND CONSTRUCTED WITH NONCOMBUSTIBLE MATERIALS IN ACCORDANCE WITH IWUIC 504.9 (AMENDED). SECTION 504.9 IS COPIED BELOW.
 - 6.) EXTERIOR WALLS WILL BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.5 (AMENDED).
 - 7.) APPENDAGES AND STRUCTURES (INCLUDING DECKS AND PORCHES) WILL BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.7 (AMENDED).
 - 8.) GUTTERS & DOWNSPOUTS WILL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND MUST BE PROVIDED WITH A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN ACCORDANCE WITH IWUIC 504.4.
 - 9.) EAVES, SOFFITS, FASCIA AND RAFTER TAILS WILL BE CONSTRUCTED WITH IGNITION RESISTANT MATERIALS IN ACCORDANCE WITH IWUIC 504.3.1 (AMENDED).

FLOOR PLAN LEGEND

AREA OF NEW BRICK TO MATCH EXISTING



FLOOR PLAN - LOWER LEVEL

SCALE: 3/16" = 1'-0" ON
SCALE: 3/32" = 1'-0" ON 12X18

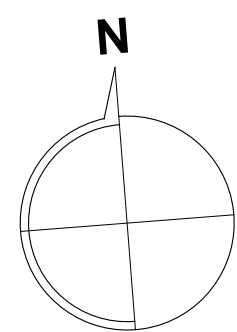
Legend			
Description	Quantity	Unit	
Doors - Clear laminated glass garage door Size: 10'-0"W x 8'-0"H	1	Count	
Doors - Clear laminated glass garage door Size: 20'-0"W x 8'-0"H	1	Count	
Doors - Exterior single door w/ frame Size: 3'-10"W x 8'-0"H	1	Count	
Doors - Exterior single glass door w/ frame Size: 3'-0"W x 9'-6"H	1	Count	
Doors - Exterior sliding steel gate on barn door track Size: 9'-1 1/4"W x 9'-5 1/4"H	1	Count	
Doors - Interior single door w/ frame Size: 2'-8"W x 7'-0"H	1	Count	
Doors - Interior single door w/ frame Size: 2'-8"W x 9'-6"H	2	Count	
Doors - Interior single door w/ frame Size: 3'-0"W x 8'-0"H	1	Count	
Doors - Storefront Size: 3'-9 3/4"W x 8'-6 1/2"H	2	Count	
Doors - Storefront Size: 5'-10"W x 8'-6 1/2"H	2	Count	
Doors - Storefront w/ 3'-0" wide door & frame Size: 18'-9 1/2"W x 9'-8"H	1	Count	
Doors - Storefront w/ 3'-8" wide door & frame Size: 13'-9"W x 8'-6 1/2"H	2	Count	
Exterior - Steel column painted Size: 4"x4"x9'-0"H	4	Count	
Flooring - CONC-1	2,419	sf	
Flooring - MU-3: Sand-set brick pavers	629	sf	
HVAC - AHU-1	1	Count	
HVAC - Downdraft vent	58.08	ft	
Millwork - 2'-0" deep closet shelving and rod	23.40	ft	
Plumb - Half bath	1	Count	
Plumb - Water closet	1	Count	
Plumb - Water heater	1	Count	
Wall finish - 5/8" type X gypsum board	22.80	ft	
Wall finish - Base-2	26.67	ft	
Walls - [2] 2x4 ext. garage wall, 9'-6"H	20.16	ft	
Walls - [2] 2x4 garage ext. wall, 8'-10"H	37.05	ft	
Walls - 2x4 corner stud, 8'H	2	Count	
Walls - 2x4 Corner stud, 10'H	52	Count	
Walls - 2x4 ext. wall 8'-10"H	4.21	ft	
Walls - 2x4 ext. wall 9'-6"H	56.13	ft	
Walls - 2x4 ext. wall, 4'-0"H	3.12	ft	
Walls - 2x4 Ext. wall, 9'-6"H	38.00	ft	
Walls - 2x4 garage ext. wall, 8'-10"H	17.71	ft	
Walls - 2x4 garage ext. wall, 9'-7"H	9.13	ft	
Walls - 2x4 int. garage wall 8'-10"H	13.33	ft	
Walls - 2x4 int. wall 9'-6"H	27.37	ft	
Walls - 2x4 Int. garage wall, 9'-6"H	19.36	ft	
Walls - 2x6 Corner stud, 10'H	16	Count	
Walls - 2x6 Ext. wall, 9'-6"H	5.85	ft	
Walls - 2x6 garage ext. wall, 9'-6"H	18.31	ft	
Walls - 2x6 int. wall, 9'-6"H	4.04	ft	
Walls - 2x6 Int. wall 9'-6"H	17.60	ft	
Walls - Corner bead	5	Count	

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
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CONSTRUCTION



A2.1

LOWER LEVEL FLOOR PLAN

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specifications are the property of architect of record

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ROOF PLAN GENERAL NOTES:

1.) ALL EXISTING ROOF FRAMING TO REMAIN UNLESS NOTED OTHERWISE.
2.) ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF MASONRY, OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.
3.) ALL SKYLIGHTS TO BE LOCATED IN FIELD WITH ARCHITECT BASED ON AS-BUILT FRAMING LOCATIONS.
4.) ALL ROOF PENETRATIONS TO BE LIMITED AS MUCH AS POSSIBLE. COLLECT VENT STACKS IN ATTIC PRIOR TO PENETRATION. VERIFY ALL PENETRATION LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

WILDLAND URBAN INTERFACE NOTES

1.) THIS PROJECT WILL MEET THE REQUIREMENTS OF THE 2015 WILDLAND-URBAN INTERFACE CODE AND WILL BE CONSTRUCTED TO THE CLASS A IGNITION-RESISTANT REQUIREMETNS OF THIS CODE. PLEASE SEE APPROVED MATERIAL INDEX FOR CONSTRUCTION REQUIREMENTS AND MATERIAL TO BE USED.

2.) ALL VENTILATION OPENINGS, INCLUDING BUT NOT LIMITED TO ATTIC VENTS, UNDERFLOOR VENTS OR ANY VENT IN THE EXTERIOR WALLS, SHALL BE CONSTRUCTED USING A NON-COMBUSTIBLE MATERIAL AND SHALL BE PROVIDED WITH EMBER PROTECTION IN ACCORDANCE WITH IWUIC 504.10 (AMENDED). DRYER VENTS AND TYPICAL ROOF PLUMBING VENT STACKS ARE EXCLUDED.

4.) EXTERIOR GLAZING WILL HAVE A FIRE PROTECTION RATING OF 20 MINUTES OR MORE IN ACCORDANCE WITH IWUIC 504.8 (AMENDED)

5.) EXTERIOR DOORS WILL HAVE A 20 MINUTE OR MORE FIRE RATING AND CONSTRUCTED WITH NONCOMBUSTIBLE MATERIALS IN ACCORDANCE WITH IWUIC 504.9 (AMENDED). SECTION 504.9 IS COPIED BELOW.

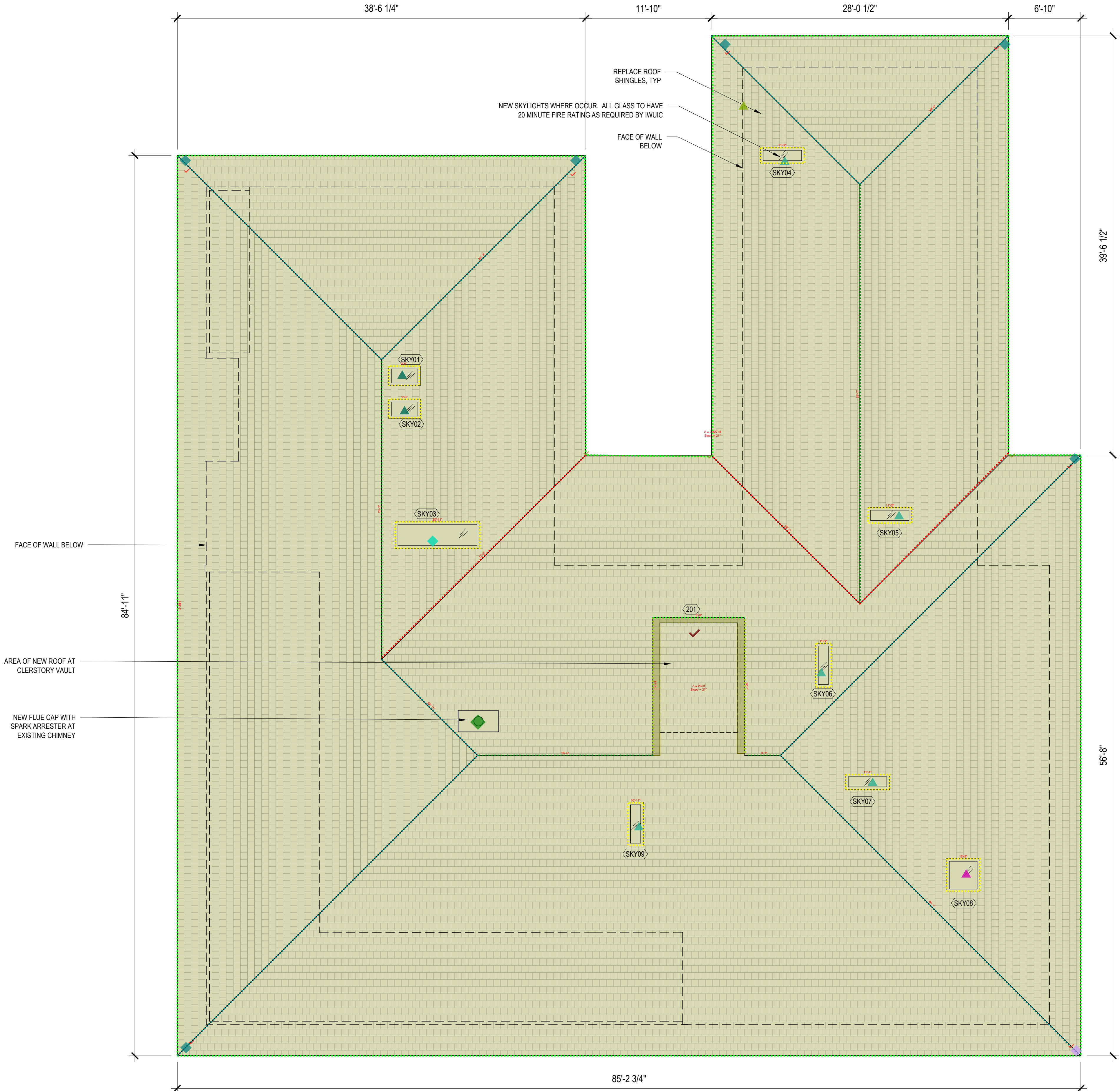
6.) EXTERIOR WALLS WILL BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.5 (AMENDED).

7.) APPENDAGES AND STRUCTURES (INCLUDING DECKS AND PORCHES) WILL BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.7 (AMENDED).

8.) GUTTERS & DOWNSPOUTS WILL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND MUST BE PROVIDED WITH A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN ACCORDANCE WITH IWUIC 504.4.

9.) EAVES, SOFFITS, FASCIA AND RAFTER TAILS WILL BE CONSTRUCTED WITH IGNITION RESISTANT MATERIALS IN ACCORDANCE WITH IWUIC 504.3.1 (AMENDED).

TOTAL AREA UNDER ROOF: 7,027SF



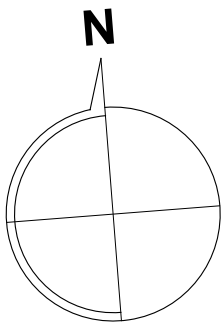
Legend		
Description	Quantity	Unit
Demo - Existing roof shingles to be removed	1	Count
Doors - Storefront Size: 8'-8"W x 8'-7"H	1	Count
Opening - Skylight Size: 1'-5 1/2"W x 2'-9 1/2"L	2	Count
Opening - Skylight Size: 1'-5 1/2"W x 4'-1 1/2"L	5	Count
Opening - Skylight Size: 2'-6"W x 8'-0"L	1	Count
Opening - Skylight Size: 3'-1 1/2"W x 3'-1 1/2"L	1	Count
Roofing - Downspout - 12'	1	Count
Roofing - Downspout - 22'	6	Count
Roofing - FC-11: 6" wide Fascia	428.09	ft
Roofing - Flashing at roof vents	107.81	ft
Roofing - Flue cap w/ spark arrester	1	Count
Roofing - Hp (5/12)	226.90	ft
Roofing - inside corners	3	Count
Roofing - outside corner piece	7	Count
Roofing - Rake (x1.202)	25.48	ft
Roofing - Ridge	87.30	ft
Roofing - Shingles	23	sf
Roofing - Shingles/ Demo	7,527	sf
Roofing - Valley (5/12)	66.76	ft

FAR WEST
REMODEL

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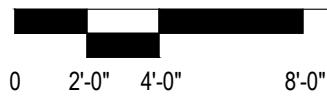
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CONSTRUCTION



A2.3
ROOF PLAN

01
-

ROOF PLAN



SCALE: 3/16" = 1'-0" ON
SCALE: 3/32" = 1'-0" ON 12X18

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ELECTRICAL LEGEND

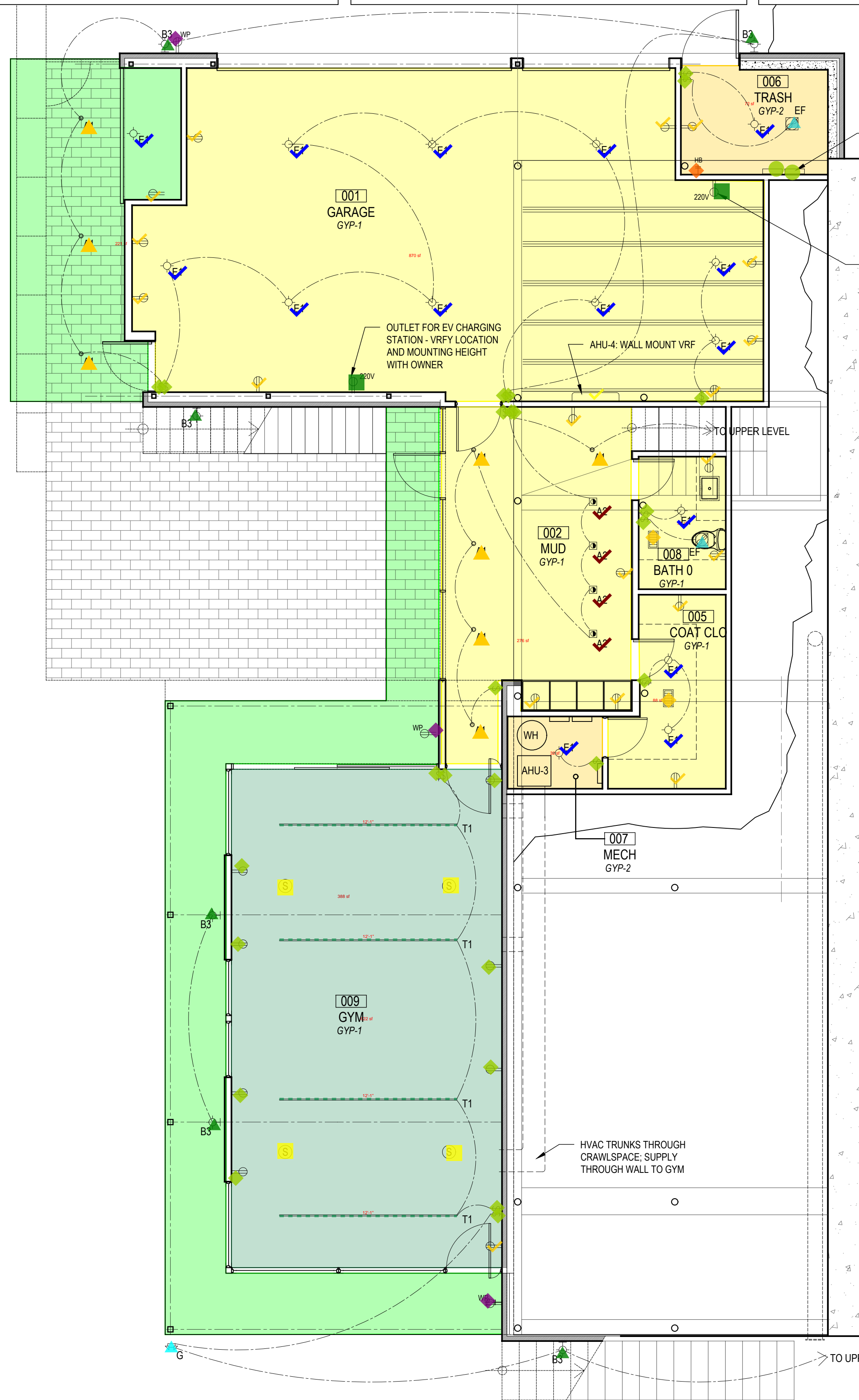
- A1 2" RECESSED LED CAN, IC-RATED, MUD-IN TRIM
○ A2 2" RECESSED LED CAN, ADJUSTABLE, IC-RATED
⊙ B WALL SCONCE
⊙ E SURFACE MOUNTED FIXTURE
⊙ P PENDANT
⊙ G EXTERIOR FLOOD LIGHT
⊙ S RECESSED STEP LIGHT
— C CONTINUOUS LOW VOLTAGE LED LIGHTING (TAPE LIGHT)

- ⊙ DUPLEX WALL RECEPTACLE
⊙ DUPLEX FLUSH FLOOR RECEPTACLE
⊙ OUTDOOR RATED DUPLEX RECEPTACLE
⊙ SMOKE DETECTOR (W/ COMBINATION CARBON MONOXIDE DETECTOR AS REQUIRED BY CODE.)
⊙ IN-CEILING SPEAKER
⊙ T THERMOSTAT
⊙ J POWERED J-BOX FOR ROLLERSHADES
— LINEAR BAR GRILLE DIFFUSER
— CURVED VANE DIRECTIONAL DIFFUSER

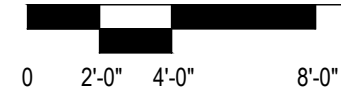
- ⊙ EXHAUST FAN
⊙ SWITCH
⊙ KEYPAD SWITCH

ELECTRICAL NOTES

- 1) ELECTRICIAN TO DETERMINE ELECTRICAL LOADING AND POWER NEEDS FOR SUBPANELS AND SPECIAL USE DEVICES.
- 2) ALL WIRE, INCLUDING SERVICE WIRE, TO BE COPPER.
- 3) ALL INTERIOR TRIMS AT PTD GYP SURFACES TO BE WHITE UNLESS NOTED OTHERWISE. ALL INTERIOR TRIMS AT WOOD CEILINGS, SIDING OR PANELING TO BE DARK BRONZE, U.N.O.
- 4) VERIFY ALL FINAL LIGHTING LOCATIONS, INCLUDING SCONCE HEIGHTS, WITH ARCHITECT PRIOR TO SHEETROCK INSTALLATION.
- 5) ALL SWITCHES TO BE DECORA STYLE, DIMMABLE, UNLESS NOTED OTHERWISE.
- 6) SEE POWER PLANS FOR ELEC. OUTLETS.
- 7) PROVIDE HARDWIRED SMOKE DETECTORS AS REQ'D BY CODE. VERIFY MODEL AND LOCATION W/ ARCHITECT.
- 8) SWITCH LOCATIONS ARE DIAGRAMMATIC ONLY. VERIFY FINAL LOCATIONS W/ OWNER.
- 9) HVAC REGISTER LOCATIONS ARE DIAGRAMMATIC ONLY. VERIFY FINAL SIZES/LOCATIONS WITH ARCHITECT.



REFLECTED CEILING PLAN - LOWER LEVEL

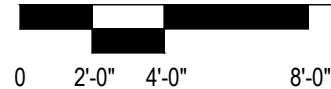


SCALE: 3/16" = 1'-0" ON 24X36
SCALE: 3/32" = 1'-0" ON 12X18

02



REFLECTED CEILING PLAN - MAIN LEVEL



SCALE: 3/16" = 1'-0" ON 24X36
SCALE: 3/32" = 1'-0" ON 12X18

01

01

02
A5.103
A5.104
A5.1FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB: 4315

SCALE: AS NOTED

RECORD:

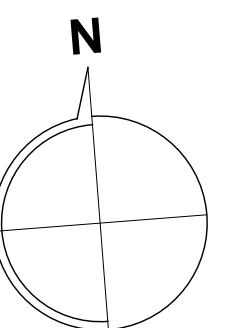
SPE 10.27.22

ELECTRICAL UPDATE: 06/09/22

PRICING DOCUMENTS 03.13.23

FINAL PRICING 09.07.23

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A3.1

REFLECTED CEILING PLANS

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Description	Quantity	Unit
Ceiling - GYP-1: Patch & repair existing ceiling	3,473	sf
Ceiling - WD-7	1,038	sf
Elec - A3:	20	Count
Elec - B1	2	Count
Elec - B4	2	Count
Elec - C1: Continuous low voltage LED Lighting (Tape light)	10.63	ft
Elec - C2: Continuous low voltage LED Lighting (Tape light)	2.20	ft
Elec - floor Duplex receptacle	1	Count
Elec - Floor Duplex receptacle	6	Count
Elec - P2: Pendant light, detail missing	2	Count
Elec - Powered J-Box for rollershades	8	Count
Elec - Smoke detector	13	Count
Elec - Thermostat	1	Count
Elec - Thermostat	2	Count
Elec - Wall sconce	2	Count
HVAC - Linear bar grille diffuser	10	Count
HVAC - Linear bar grille diffuser	15.79	ft

Legend		
Description	Quantity	Unit
Exterior - 8" wide MTL-1 trim	37.54	ft
Exterior - 9" wide FC-1 trim	16.03	ft
Exterior - 12" thick WD-4 trim	14.68	ft
Exterior - MU-2	449	sf
Exterior - Paint at existing MU-1	1,876	sf
Exterior - Parging concrete	70	sf
Exterio - 2'-0" wide FC-1 fascia	7.08	ft
Roof - MTL-1 cap flashing and drip	10.01	ft
Roofing - Flashing at roof and wall connection	26.87	ft
Roofing - Shingles/ Demo	118	sf

PARTIAL WEST ELEVATION - ENTRY COURT

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

PARTIAL EAST ELEVATION - ENTRY COURT

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
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A5.1
EXT ELEVATIONS

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Legend		Quantity	Unit
<div></div>	Exterior - MU-2	460	sf
<div></div>	Exterior - Paint at existing MU-1	273	sf
<div></div>	Exterior - WD-5	437	sf
<div></div>	Exterio - 2'-0" wide FC-1 fascia	117.84	ft

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

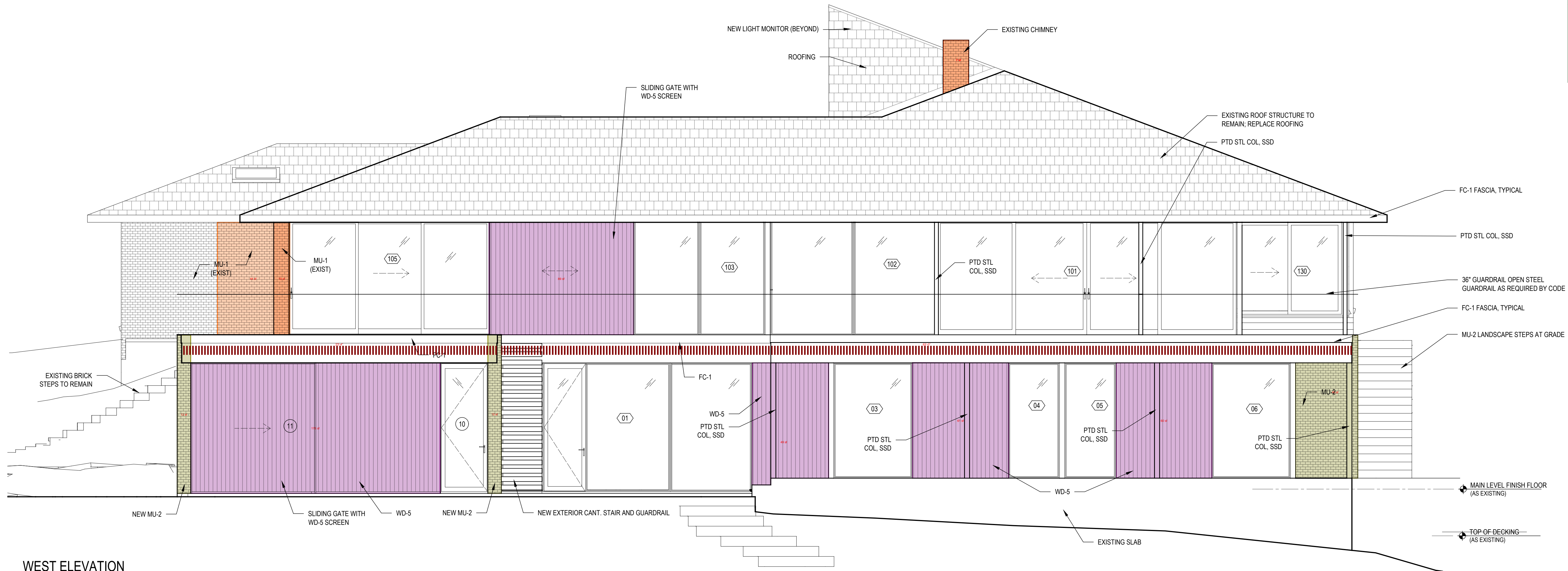
4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
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A5.2
EXT ELEVATIONS

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WEST ELEVATION

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

TOP OF ROOF
900.3'

BUILDING HEIGHT (TO MIDPOINT OF HIP)
891.85'

MAIN LEVEL FINISH FLOOR
877.92'

MAIN LEVEL FINISH FLOOR EX.
877.42' (AS EXISTING)

AVERAGE ADJACENT GRADE
867.75' (AS EXISTING)

T.O. SLAB - LOWER LEVEL EX.
865.45' (AS EXISTING)

T.O. SLAB - GARAGE LEVEL
864.45' (AS EXISTING)

SOUTH ELEVATION

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

02

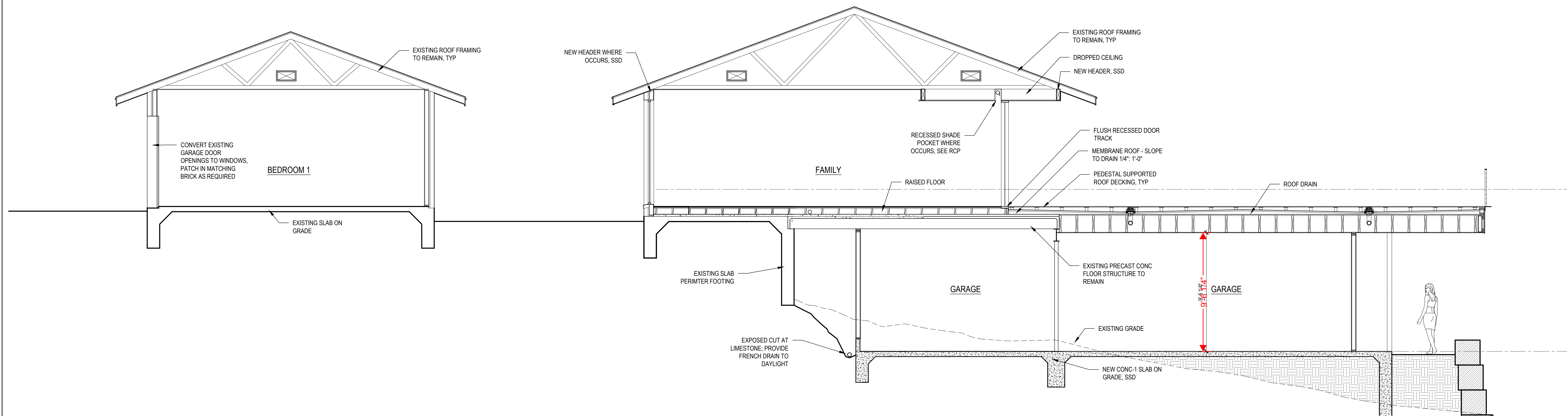
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01

-

FAR WEST
REMODEL4315 FAR WEST BLVD
AUSTIN, TX 78731

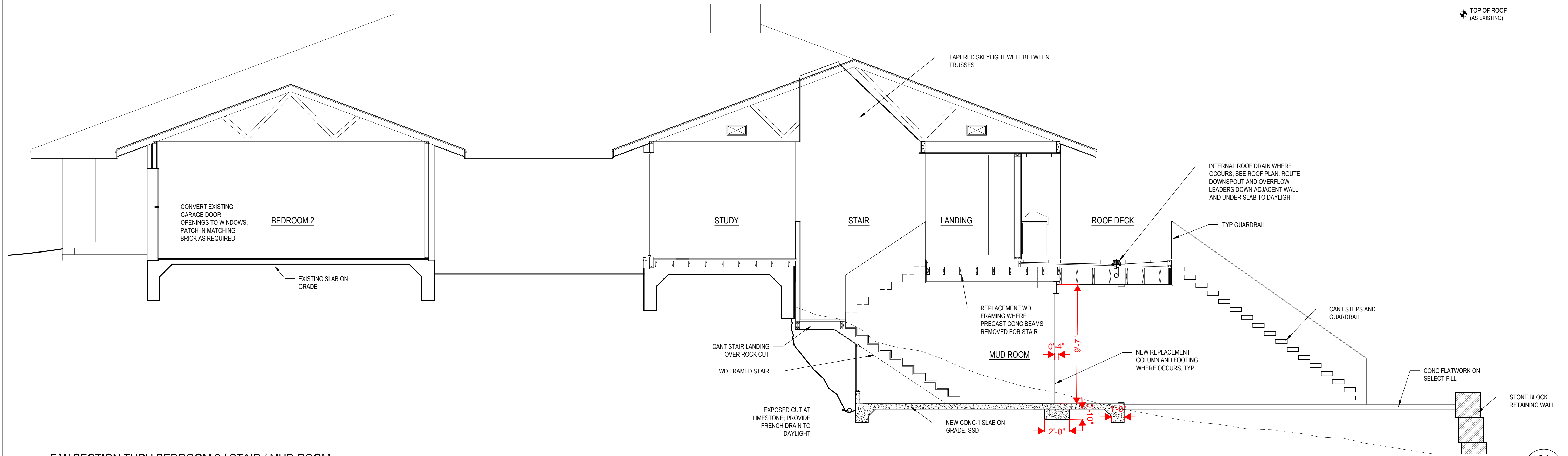
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PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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CONSTRUCTIONA6.1
BUILDING SECTIONS

E/W SECTION THROUGH FAMILY / GARAGE / BEDROOM 1

0 2'-0\"/>

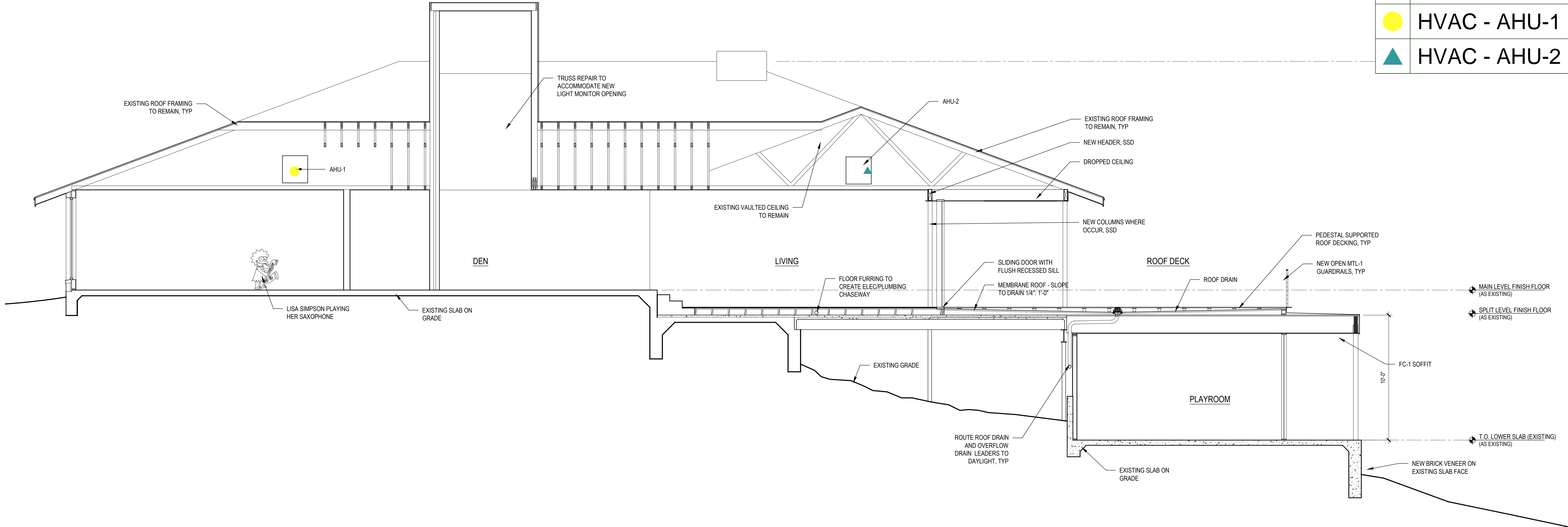
02



E/W SECTION THRU BEDROOM 2 / STAIR / MUD ROOM

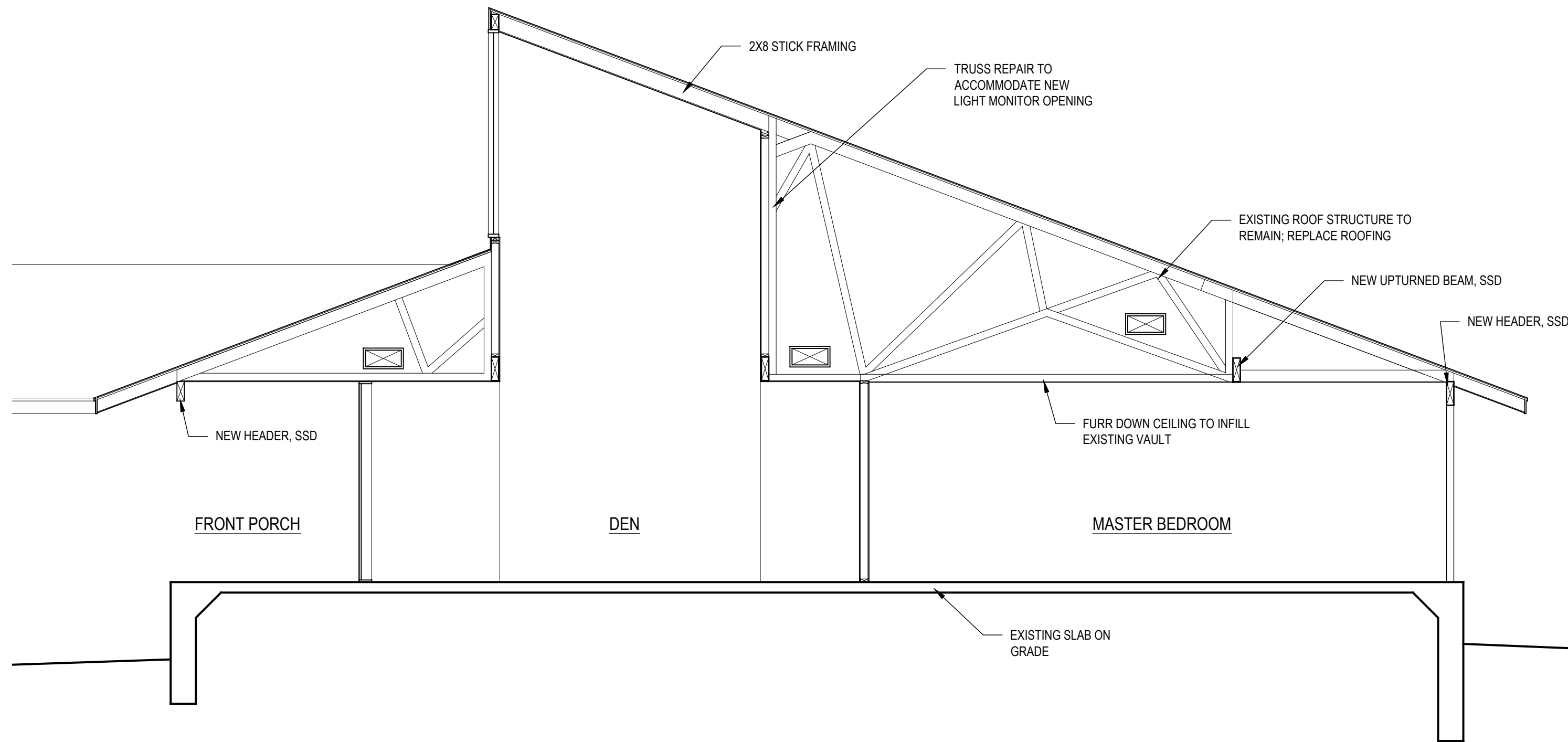
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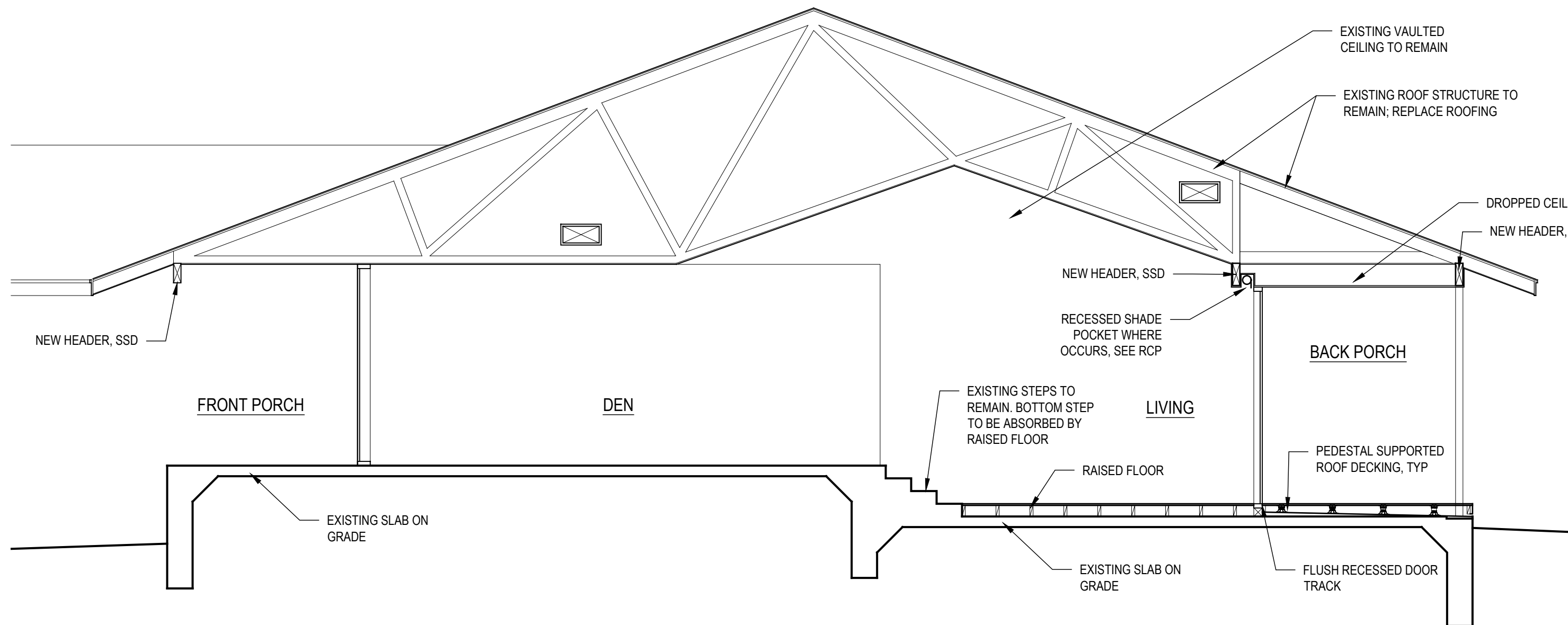
E/W SECTION THROUGH PLAYROOM / ROOF DECK

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18



N/S SECTION THROUGH DEN / LIGHT MONITOR

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18



N/S SECTION THROUGH DEN / LIVING

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

Legend

	Description	Quantity	Unit
●	HVAC - AHU-1	1	Count
▲	HVAC - AHU-2	1	Count

512-413-0273

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
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A6.2
BUILDING SECTIONS

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FAR WEST
REMODEL

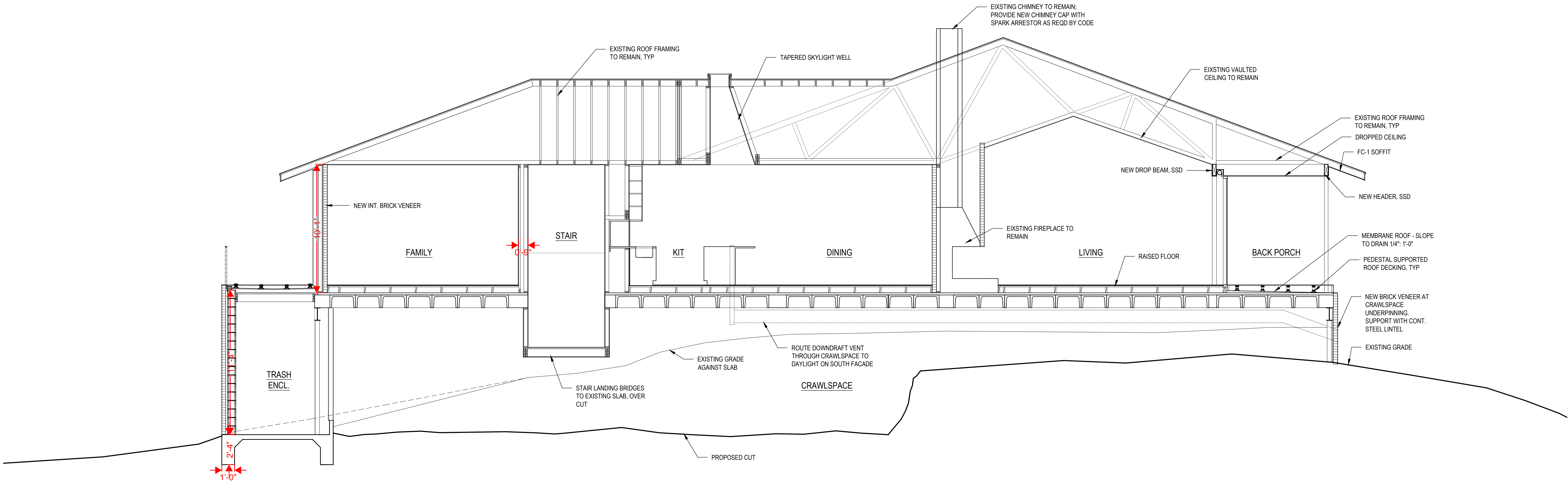
4315 FAR WEST BLVD
AUSTIN, TX 78731

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PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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APPROVAL, OR
CONSTRUCTION

A6.3

BUILDING SECTIONS

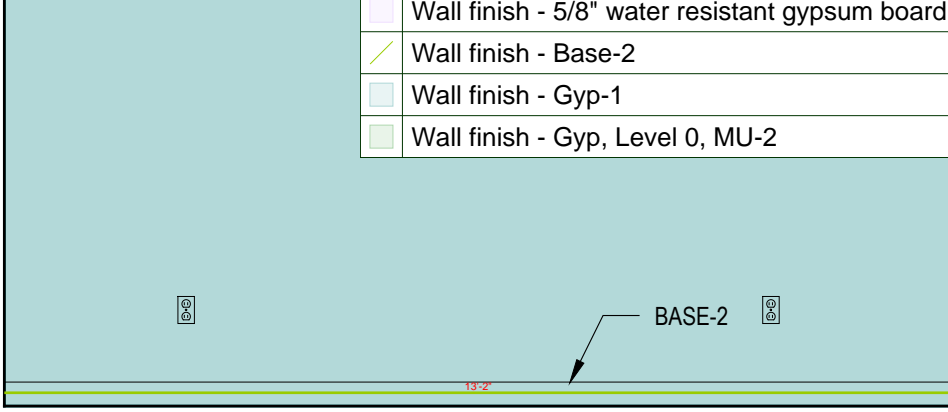
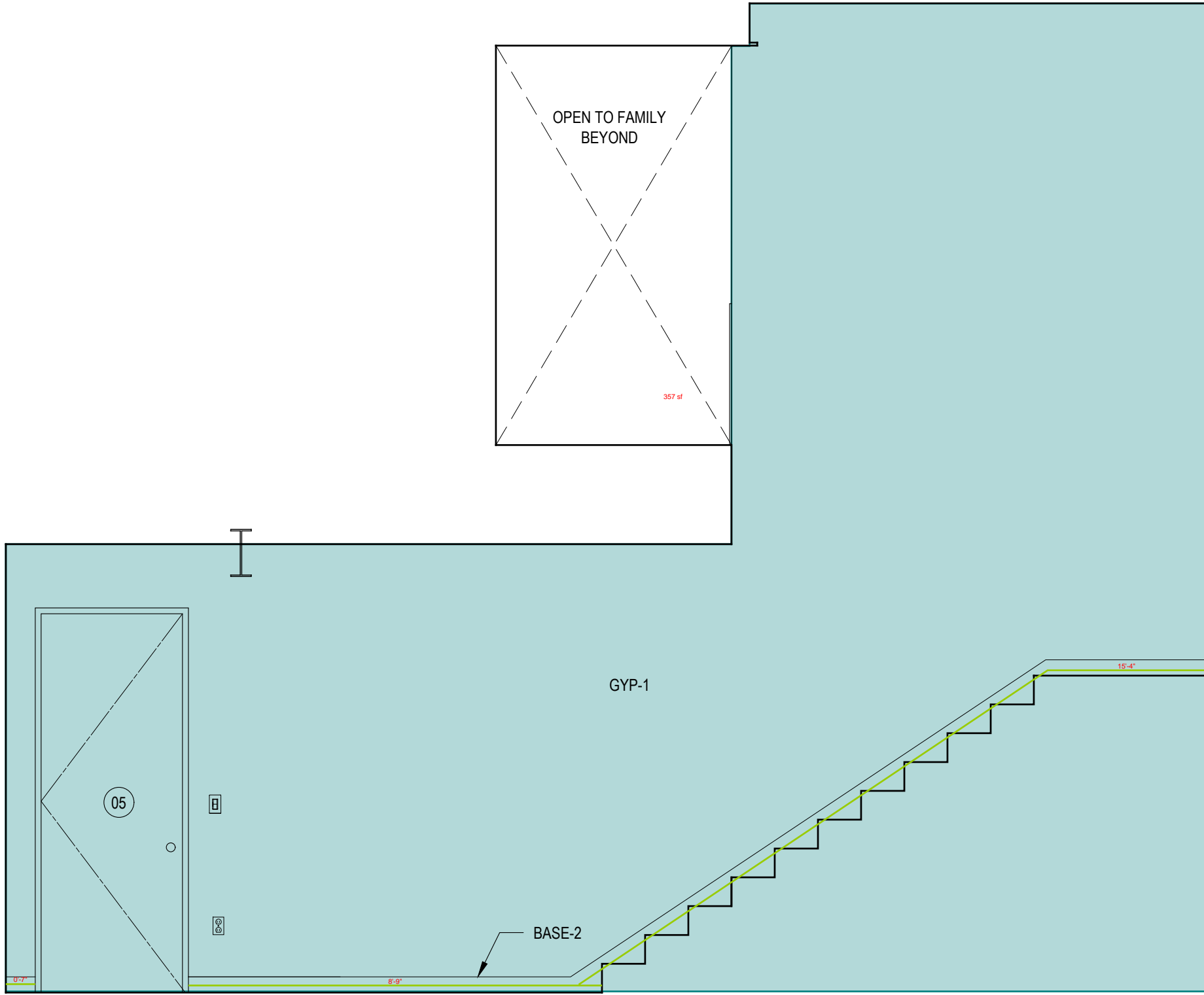
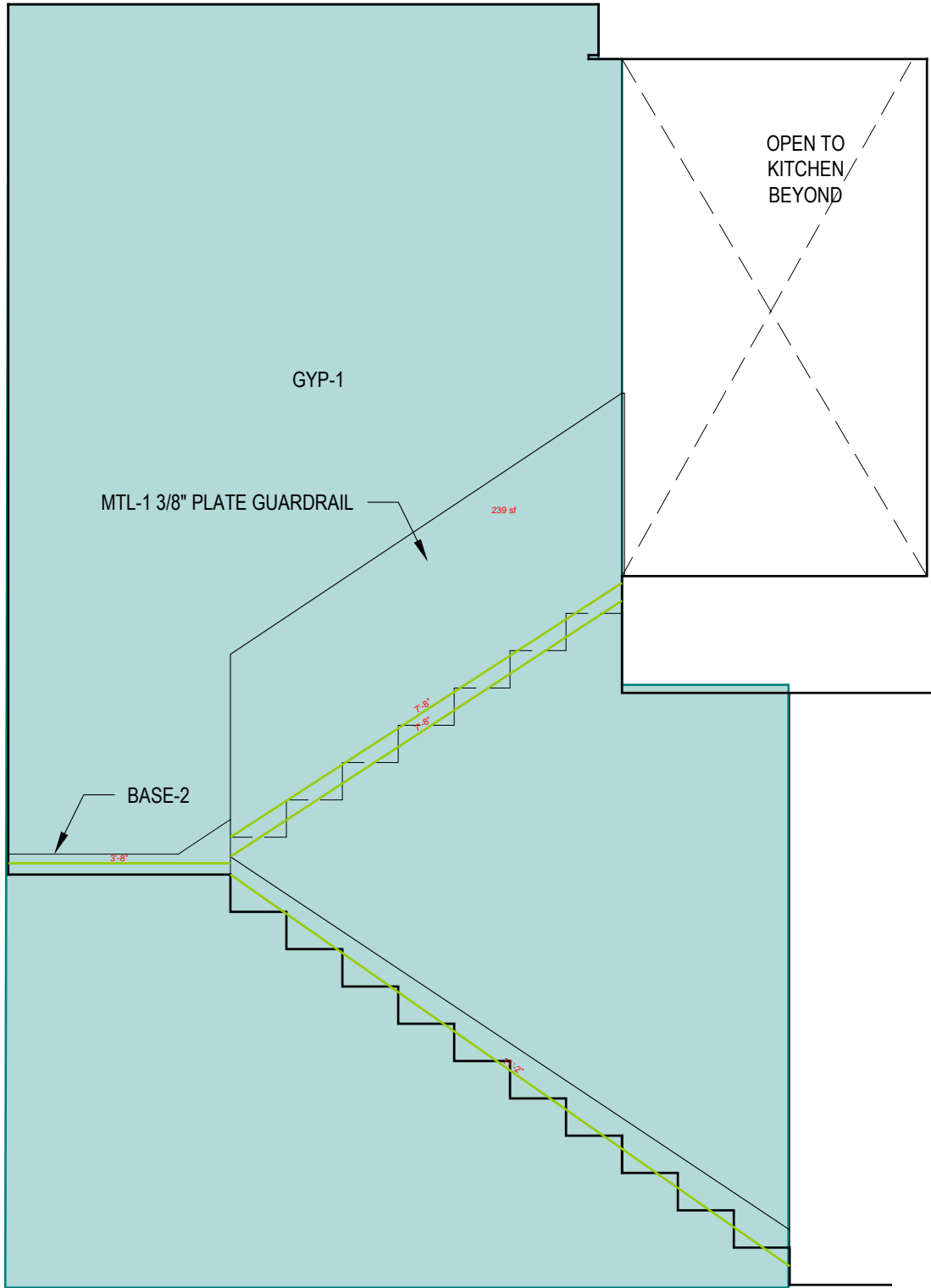


N/S SECTION THROUGH FAMILY / STAIR / KITCHEN / LIVING / CRAWLSPACE

0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0" ON 24X36
SCALE: 1/8" = 1'-0" ON 12X18

Legend		Quantity	Unit
◆	HVAC - Return Grille	1	Count
◆	HVAC - Supply Grille	2	Count
▨	Millwork - 2'-0" deep counter for gym bath	5.92	ft
▨	Millwork - 2'-0" deep countertop w/ backsplash and CNTR-2 finish	4.33	ft
◆	Millwork - Base cabinet for Gym bath w/ 2 doors and WD-P1 finish Size: 2'-11"W x 2'-11"H x 2'-0"D	1	Count
◆	Millwork - Base cabinet for Gym bath w/ 2 doors, 2 Shelves and WD-P1 finish Size: 2'-11"W x 2'-11"H x 2'-0"D	1	Count
◆	Millwork - Floating vanity at gym bath w/ 2 doors and WD-1P finish Size: 4'-4"W x 1'-10"H x 2'-0"D	1	Count
◆	Millwork - Wall cabinet for Gym bath w/ 2 doors, 2 Shelves and WD-P1 finish Size: 2'-11"W x 2'-8"H x 2'-0"D	2	Count
◆	Millwork - Wall cabinet for Gym bath w/ 2 doors, 4 Shelves and WD-P1 finish Size: 2'-11"W x 4'-0"H x 2'-0"D	2	Count
✓	Special - Mirror w/ stainless steel 3/4" square frame, 48"x24"	1	Count
▨	Trims - 6" wide Painted wood trim	25.58	ft
▨	Wall finish - 5/8" water resistant gypsum board, Level 5	284	sf
▨	Wall finish - Base-2	130.97	ft
▨	Wall finish - Gyp-1	1,132	sf
▨	Wall finish - Gyp, Level 0, MU-2	341	sf



COAT CLO - EAST

14

0 1'-0" 2'-0" 4'-0"

STAIR - SOUTH

13

0 1'-0" 2'-0" 4'-0"

STAIR - NORTH

12

0 1'-0" 2'-0" 4'-0"

COAT CLO - SOUTH

11

0 1'-0" 2'-0" 4'-0"

COAT CLO - WEST

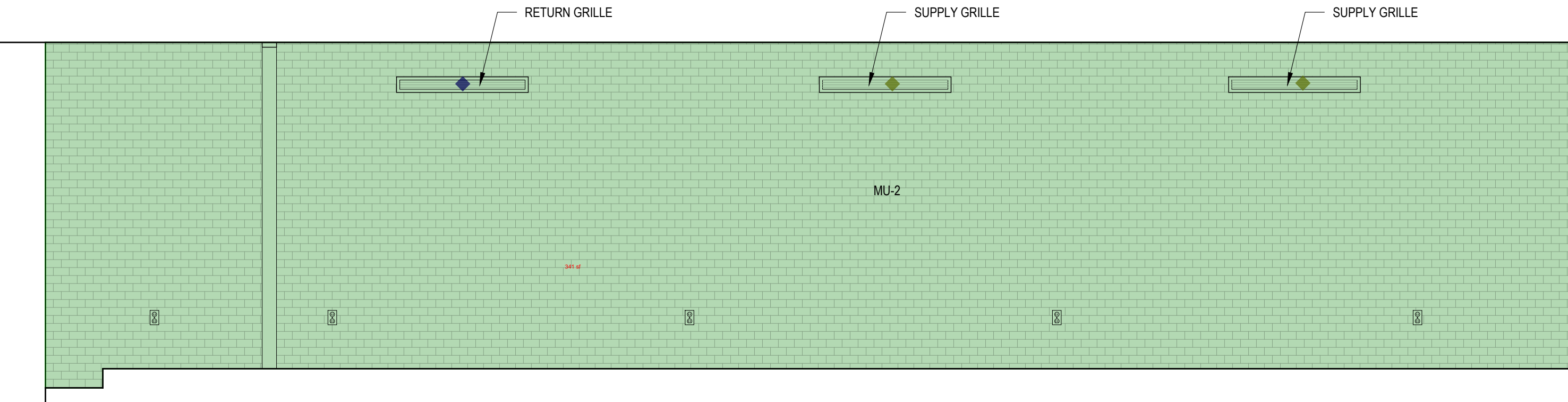
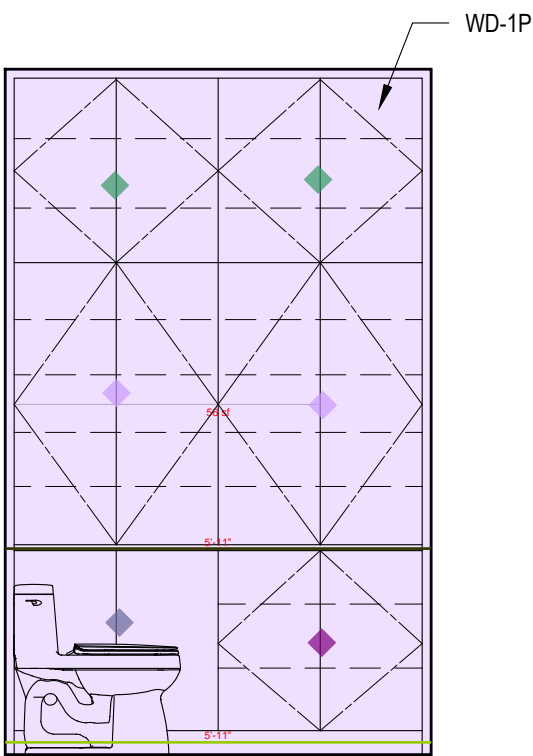
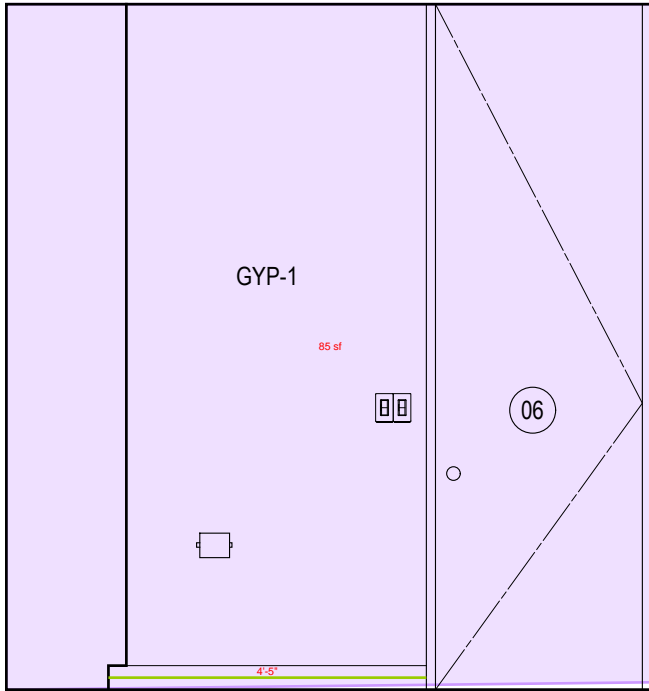
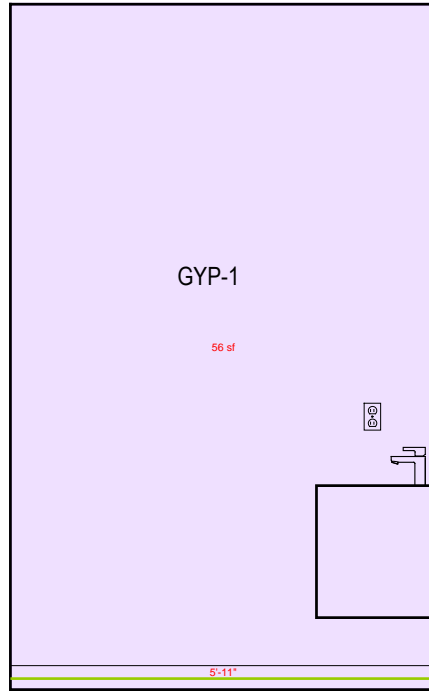
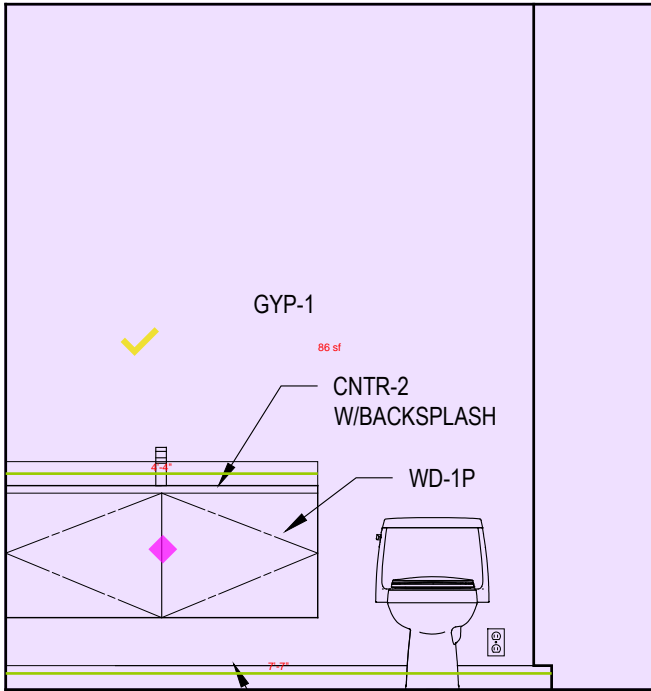
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0 1'-0" 2'-0" 4'-0"

COAT CLO - NORTH

09

0 1'-0" 2'-0" 4'-0"



GYM BATH - EAST

08

0 1'-0" 2'-0" 4'-0"

GYM BATH - SOUTH

07

0 1'-0" 2'-0" 4'-0"

GYM BATH - WEST

06

0 1'-0" 2'-0" 4'-0"

GYM BATH - NORTH

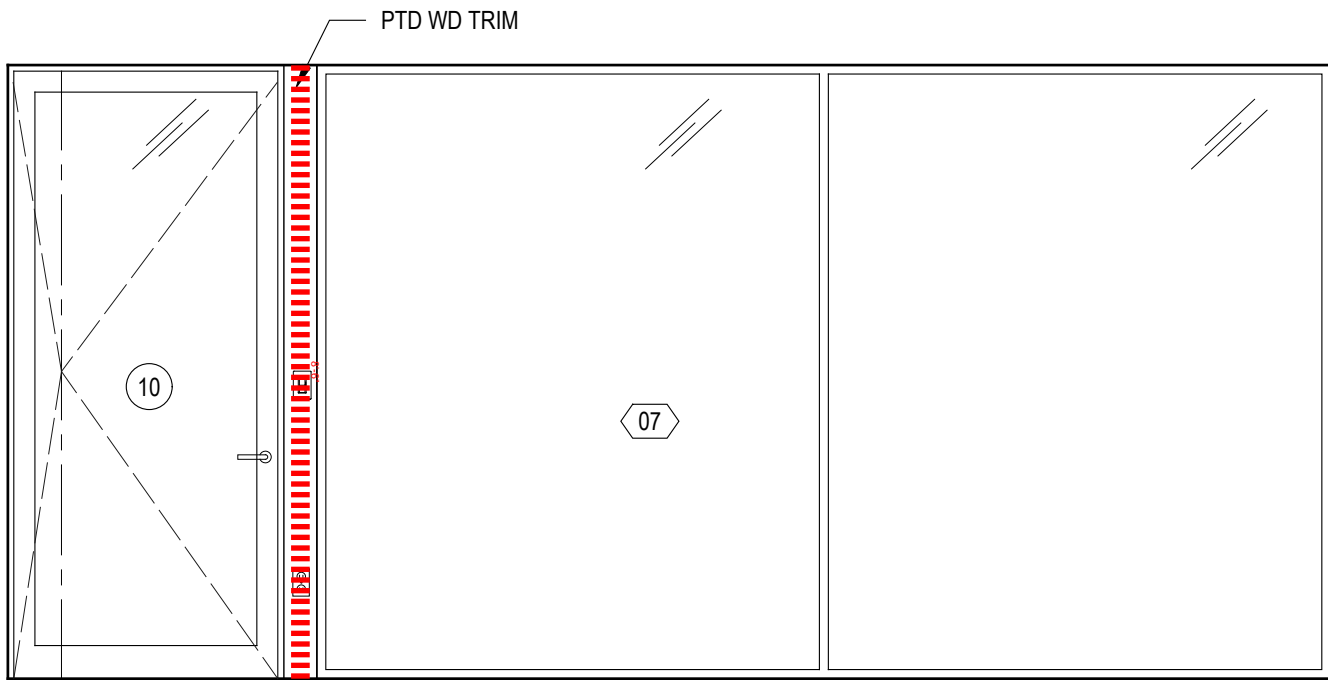
05

0 1'-0" 2'-0" 4'-0"

GYM - EAST

04

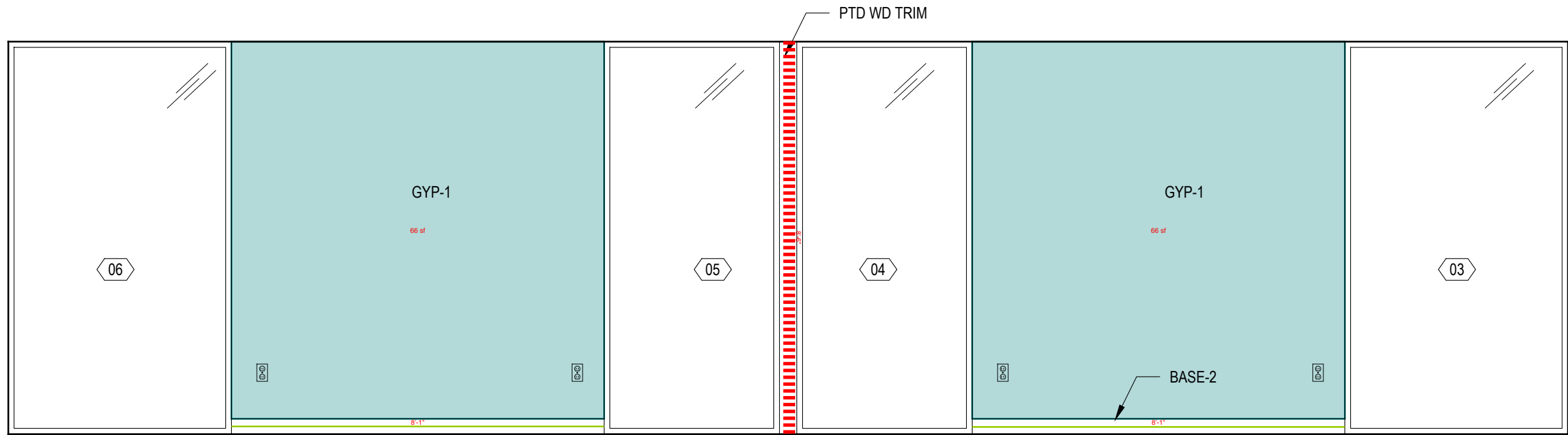
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GYM - SOUTH

03

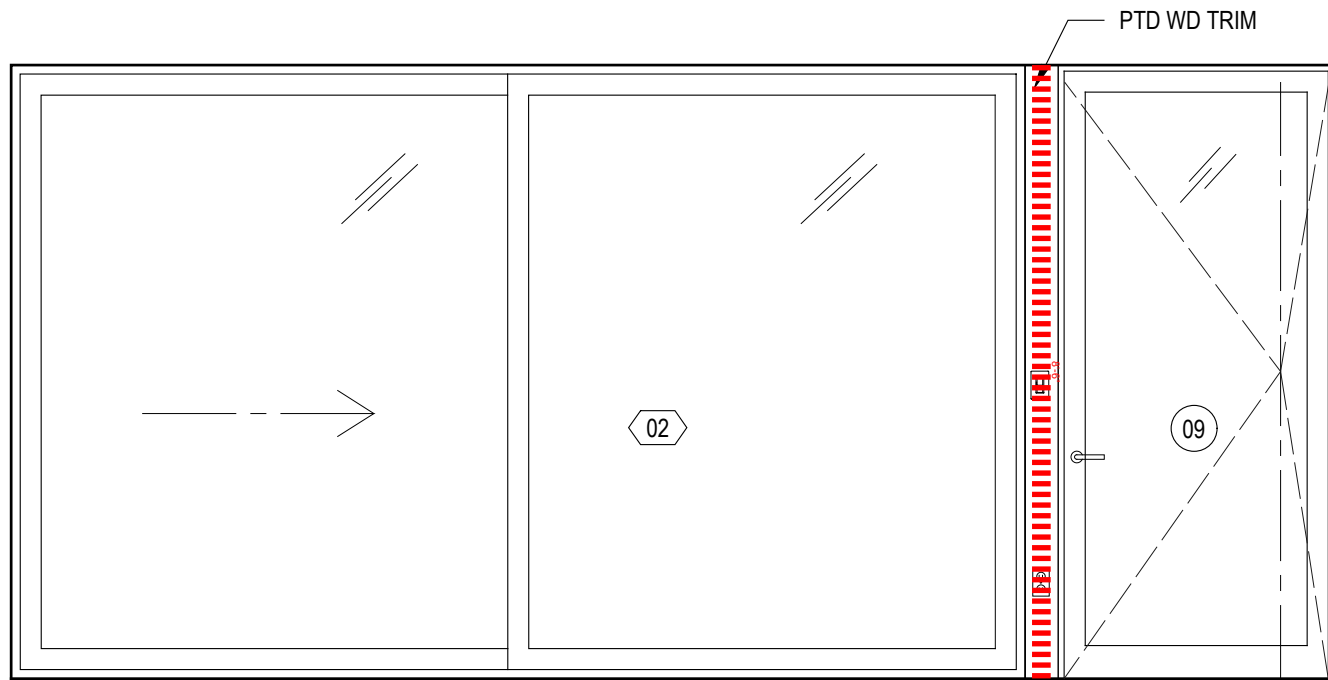
0 1'-0" 2'-0" 4'-0"



GYM - WEST

02

0 1'-0" 2'-0" 4'-0"



GYM - NORTH

01

0 1'-0" 2'-0" 4'-0"

SCALE: 3/8" = 1'-0" ON
SCALE: 3/16" = 1'-0" ON 12X18

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

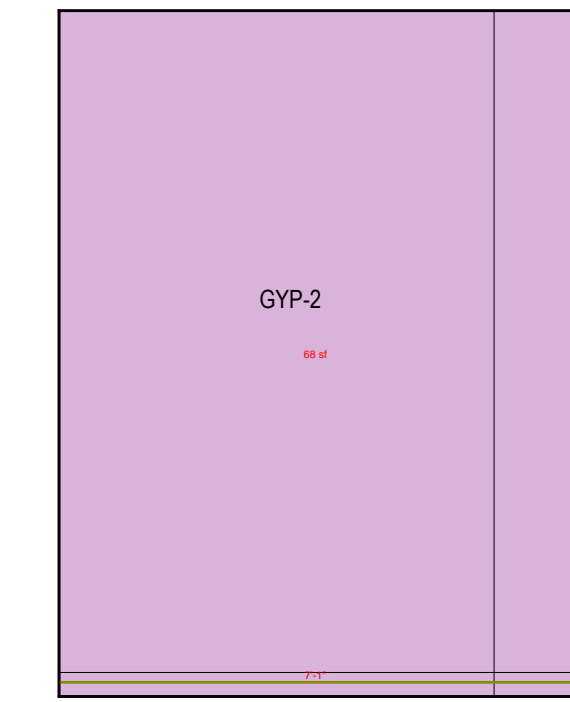
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SCALE:	AS NOTED
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SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
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A8.1
INTERIOR ELEVATIONS

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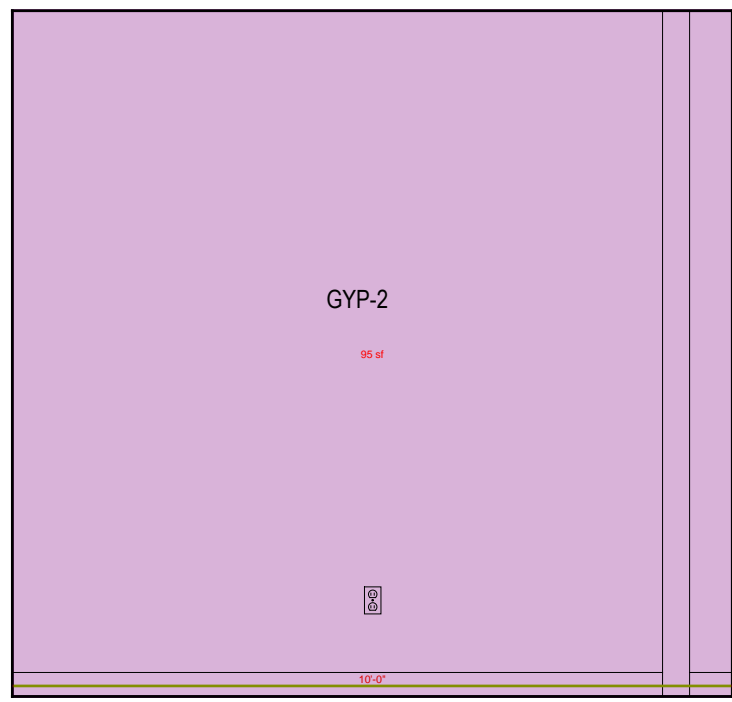
Legend		Description	Quantity	Unit
◆	HVAC - Return Air Grille	HVAC - Return Air Grille	1	Count
◆	Millwork - Tall cabinet for Mud room w/ 3 doors, 5 shelves and WD-1S finish Size: 1'-10"W x 9'-6"H x 2'-0"D	Millwork - Tall cabinet for Mud room w/ 3 doors, 5 shelves and WD-1S finish Size: 1'-10"W x 9'-6"H x 2'-0"D	2	Count
◆	Millwork - Tall cabinet for Mud room w/ 3 doors, 5 shelves and WD-1S finish Size: 1'-11"W x 9'-6"H x 2'-0"D	Millwork - Tall cabinet for Mud room w/ 3 doors, 5 shelves and WD-1S finish Size: 1'-11"W x 9'-6"H x 2'-0"D	2	Count
✓	Wall finish - Base-2	Wall finish - Base-2	150.12	ft
□	Wall finish - Gyp-1	Wall finish - Gyp-1	314	sf
■	Wall finish - Gyp-1, Type X	Wall finish - Gyp-1, Type X	1,242	sf
■	Wall finish - Gyp-2	Wall finish - Gyp-2	326	sf
■	Wall finish - WD-5, 5/8" gypsum board, level 0 finish	Wall finish - WD-5, 5/8" gypsum board, level 0 finish	206	sf



TRASH - EAST

11

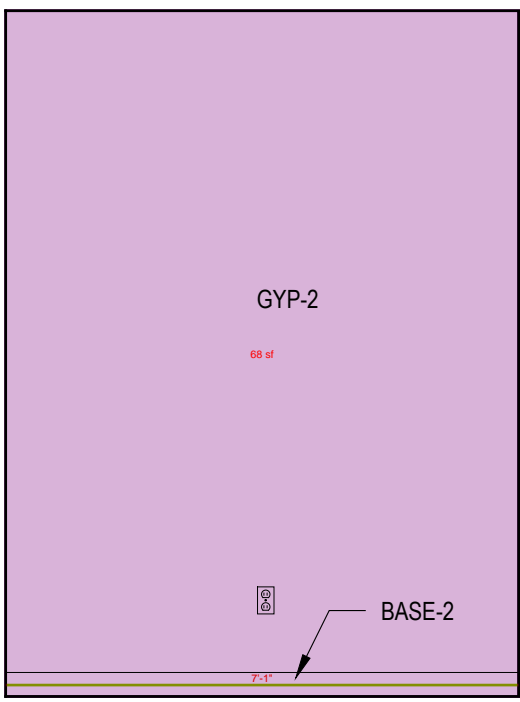
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TRASH - SOUTH

10

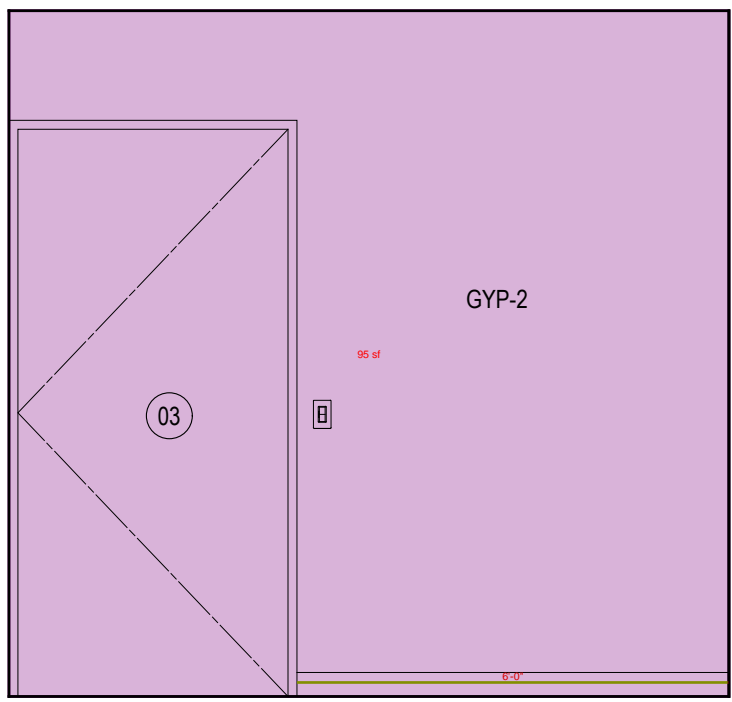
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TRASH - WEST

09

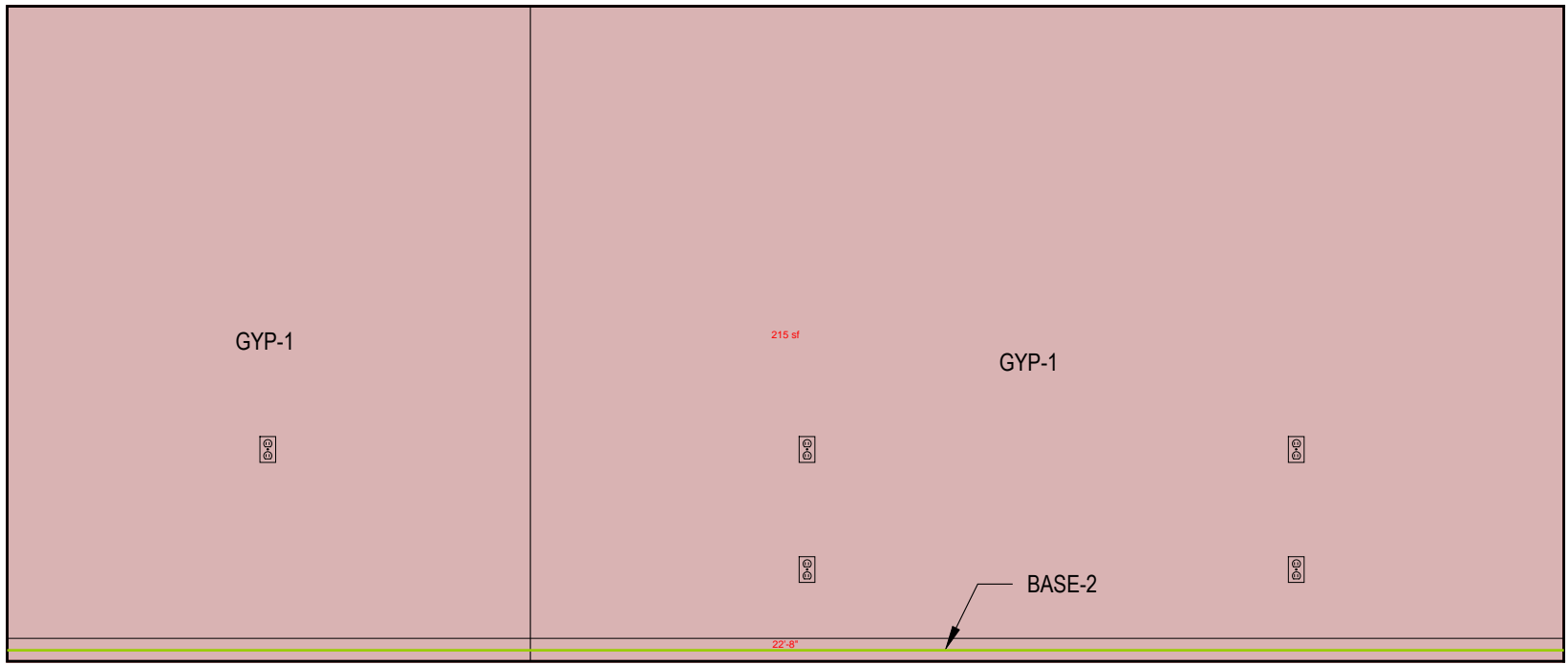
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TRASH - NORTH

08

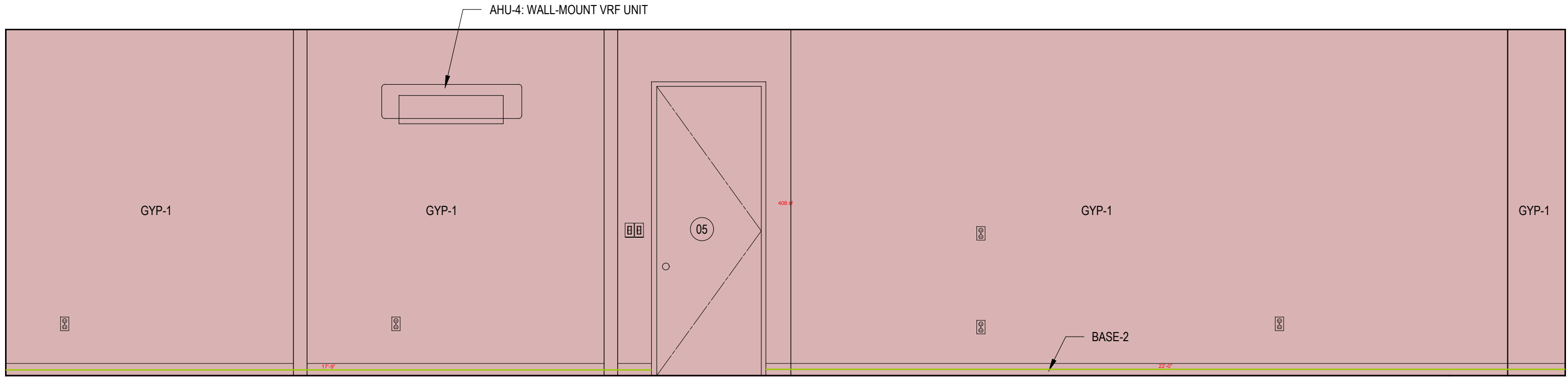
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GARAGE - EAST

07

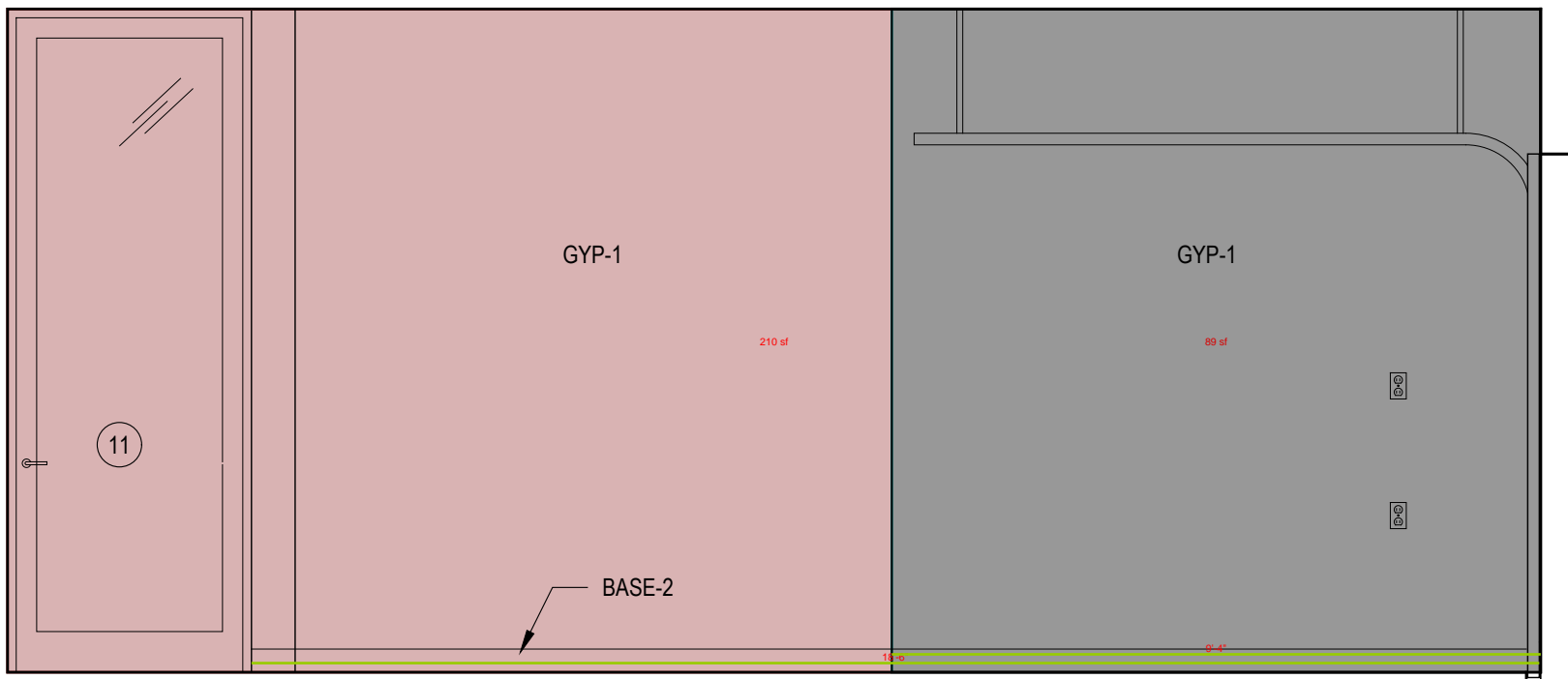
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GARAGE - SOUTH

06

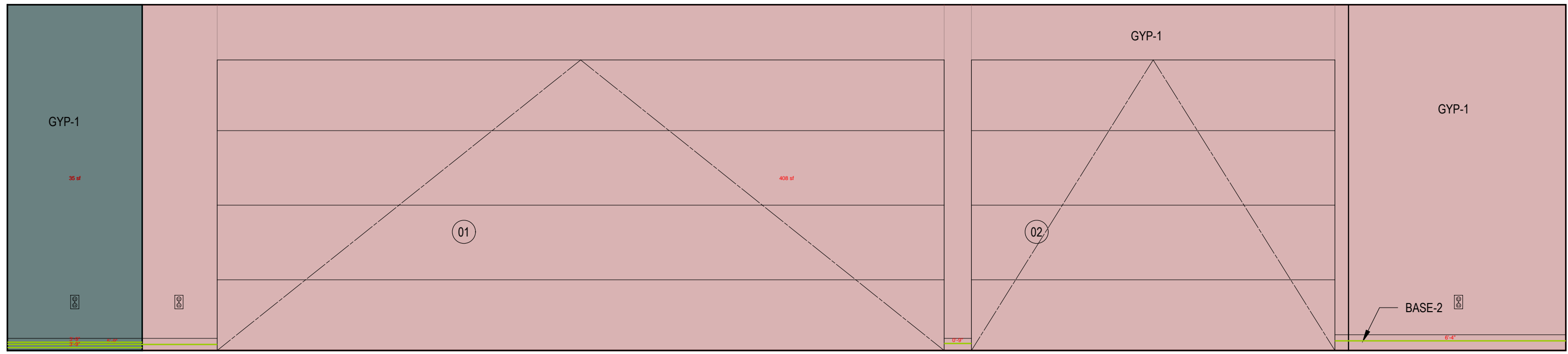
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GARAGE - WEST

05

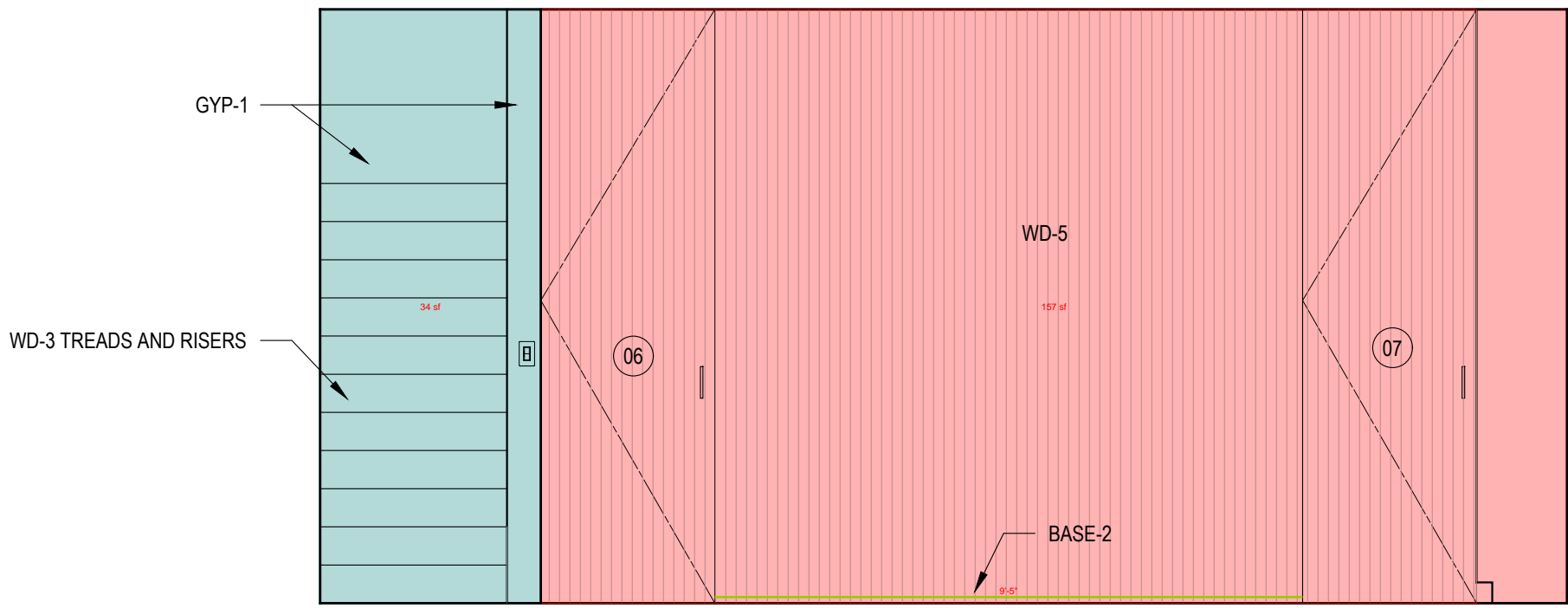
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GARAGE - NORTH

04

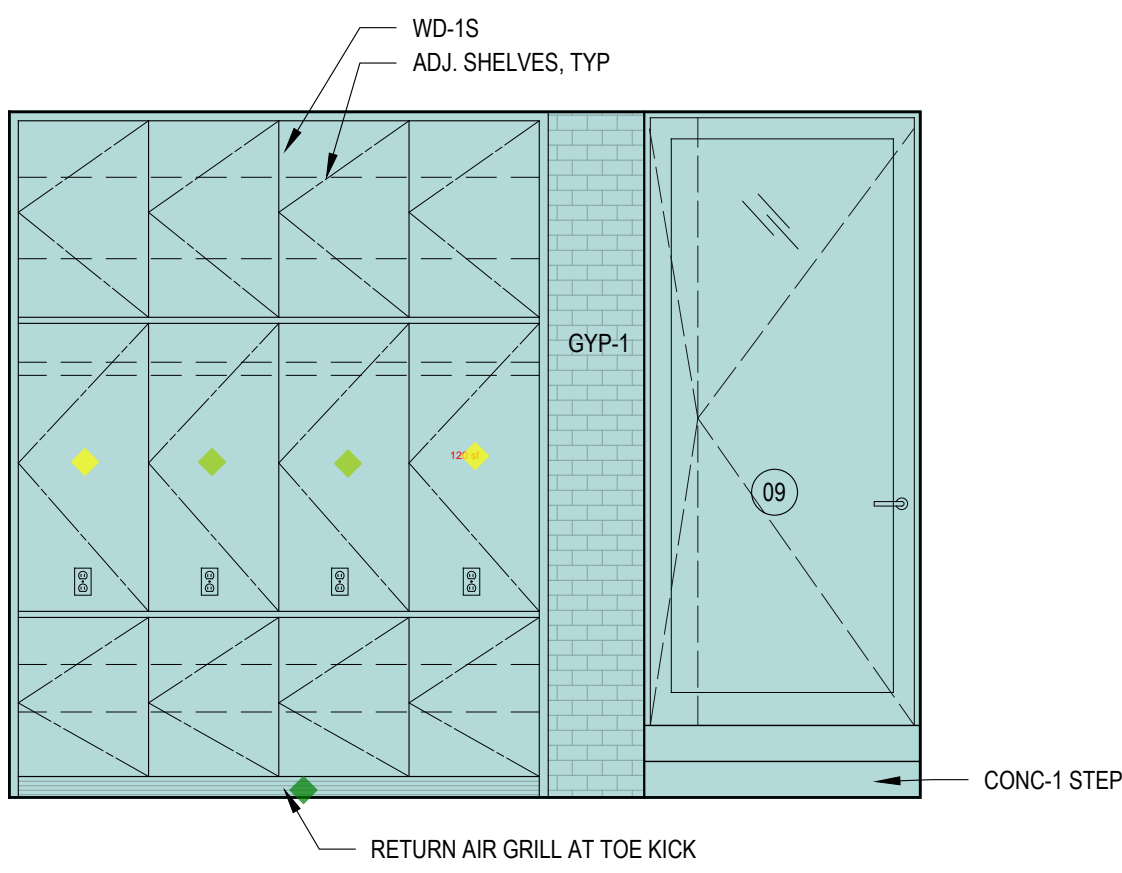
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MUD ROOM - EAST

03

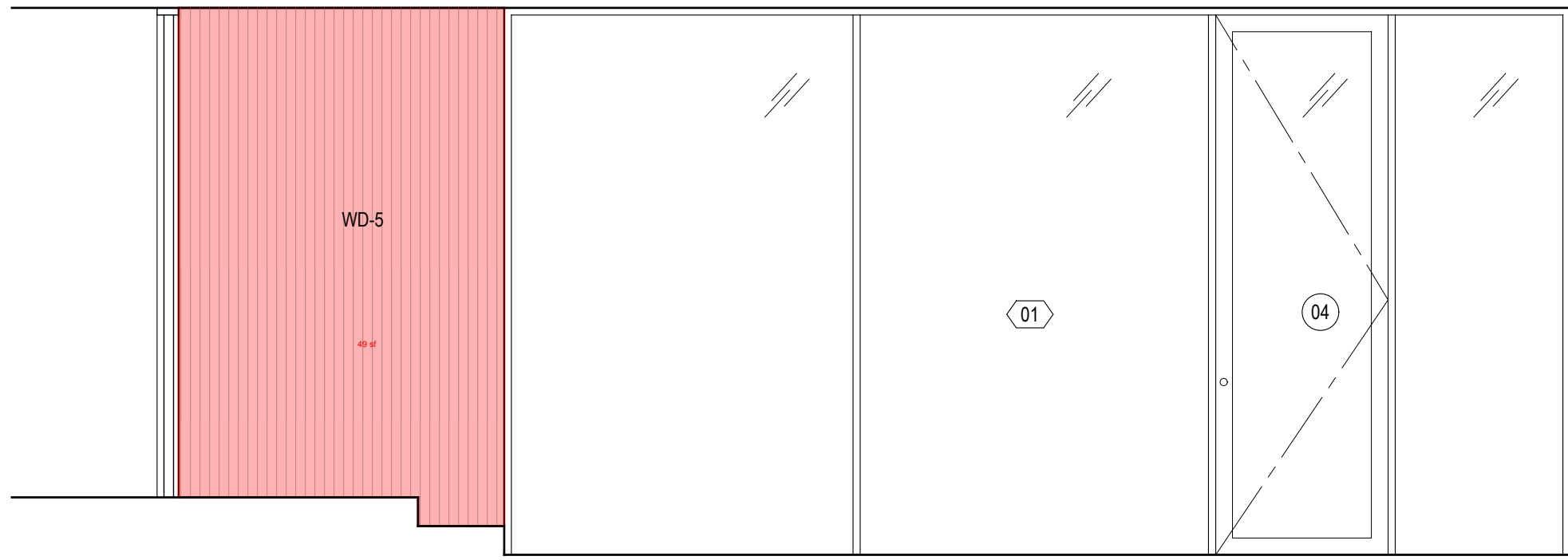
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MUD ROOM - SOUTH

02

-



MUD ROOM - WEST

01

-

SCALE: 3/8" = 1'-0" ON
SCALE: 3/16" = 1'-0" ON 12X18

EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

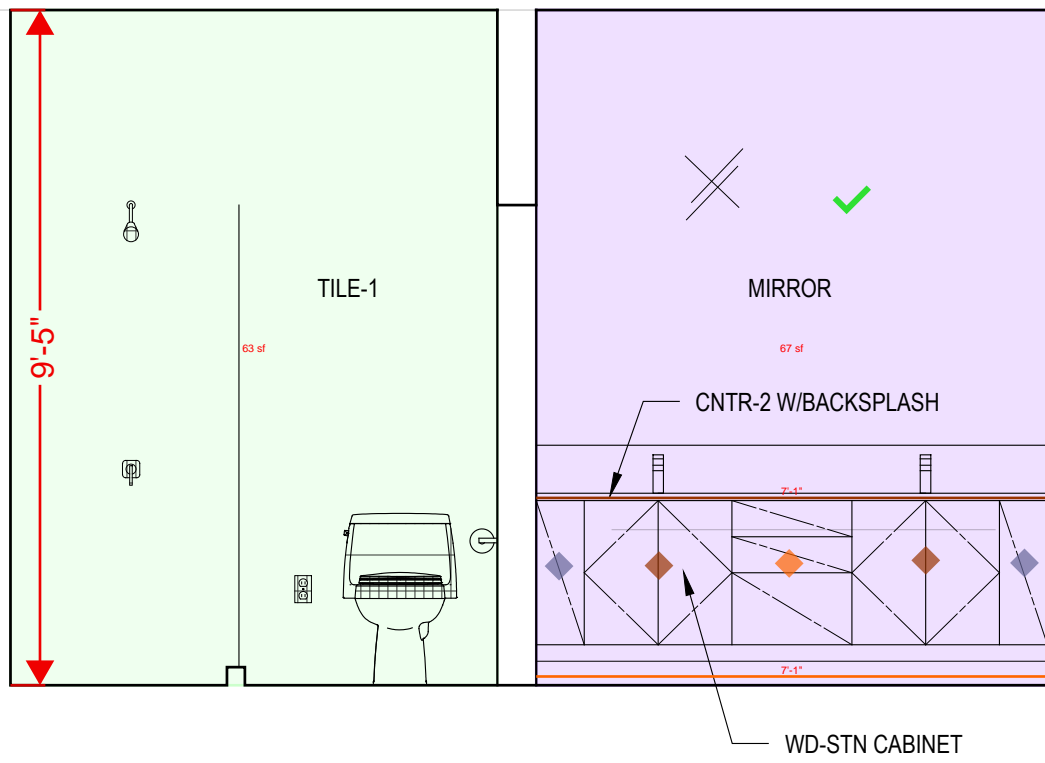
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SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
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A8.2
INTERIOR ELEVATIONS

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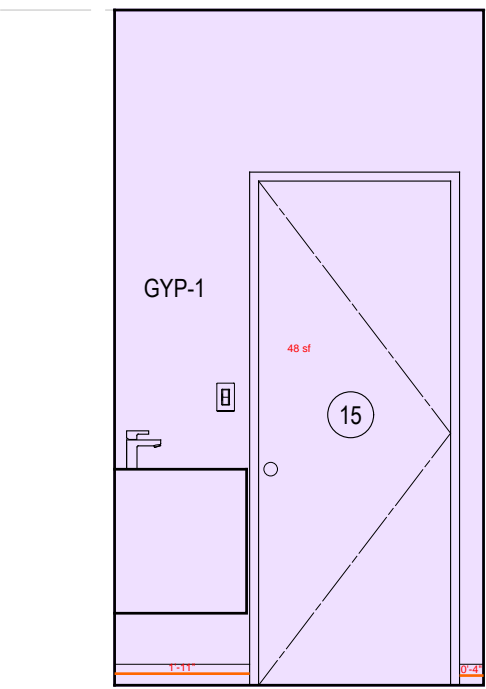
Legend		
Description	Quantity	Unit
Millwork - 1'-10" deep countertop for bath 1 w/ 8" backsplash and CNTR-2 finish	7.10	ft
Millwork - Floating vanity at bath 1 w/ 1 door and WD-STN finish Size: 0'-8"W x 2'-1"H x 1'-10"D	2	Count
Millwork - Floating vanity at bath 1 w/ 2 door and WD-STN finish Size: 2'-1"W x 2'-1"H x 1'-10"D	2	Count
Millwork - Floating vanity at bath 1 w/ 3 drawer and WD-STN finish Size: 1'-8"W x 2'-1"H x 1'-10"D	1	Count
Special - Mirror w/ stainless steel 3/4" square frame, 85"x73"	1	Count
Wall finish - 5/8" water resistant gypsum board, Level 5	325	sf
Wall finish - Base-1	180.09	ft
Wall finish - Gyp-1	1,597	sf
Wall finish - Tile-1, 1/2" tile backer board	175	sf



BATHROOM 1 - EAST

15

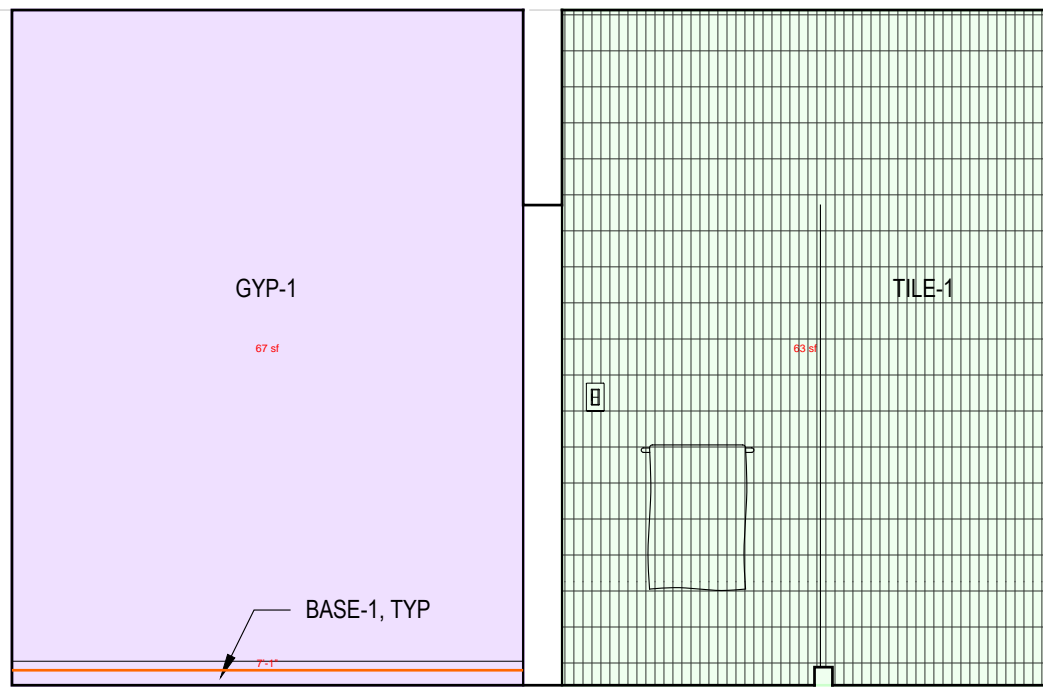
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BATHROOM 1 - SOUTH

14

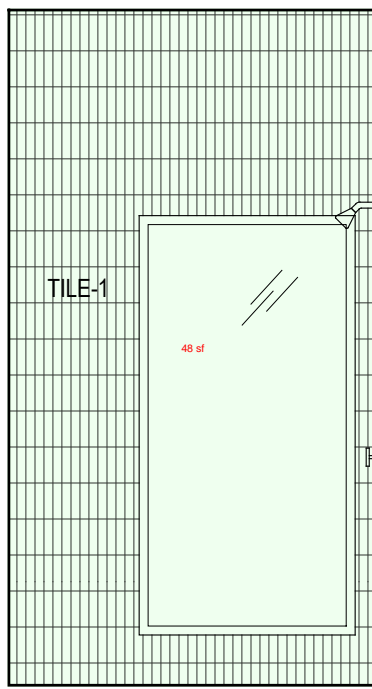
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BATHROOM 1 - WEST

13

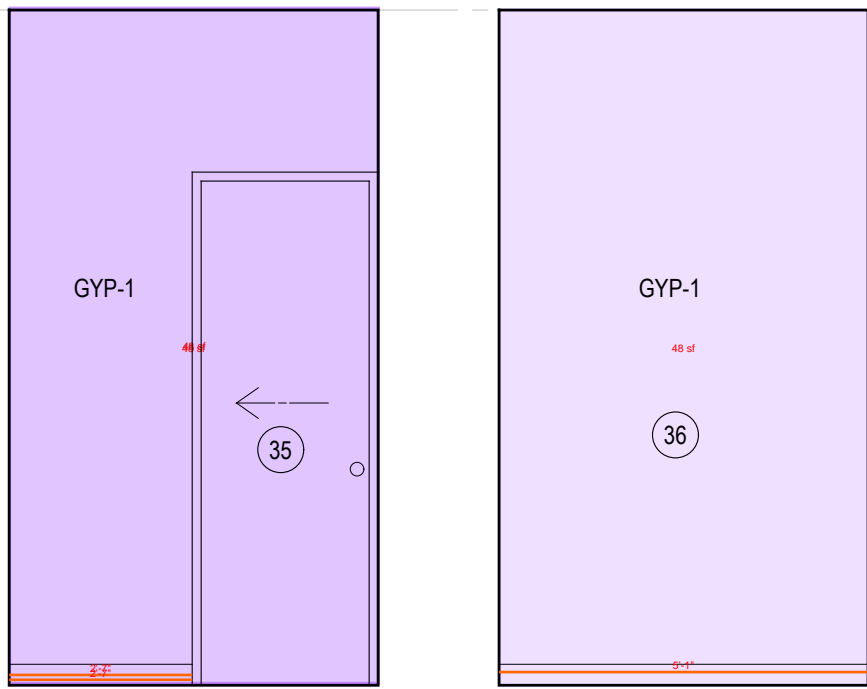
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BATHROOM 1 - NORTH

12

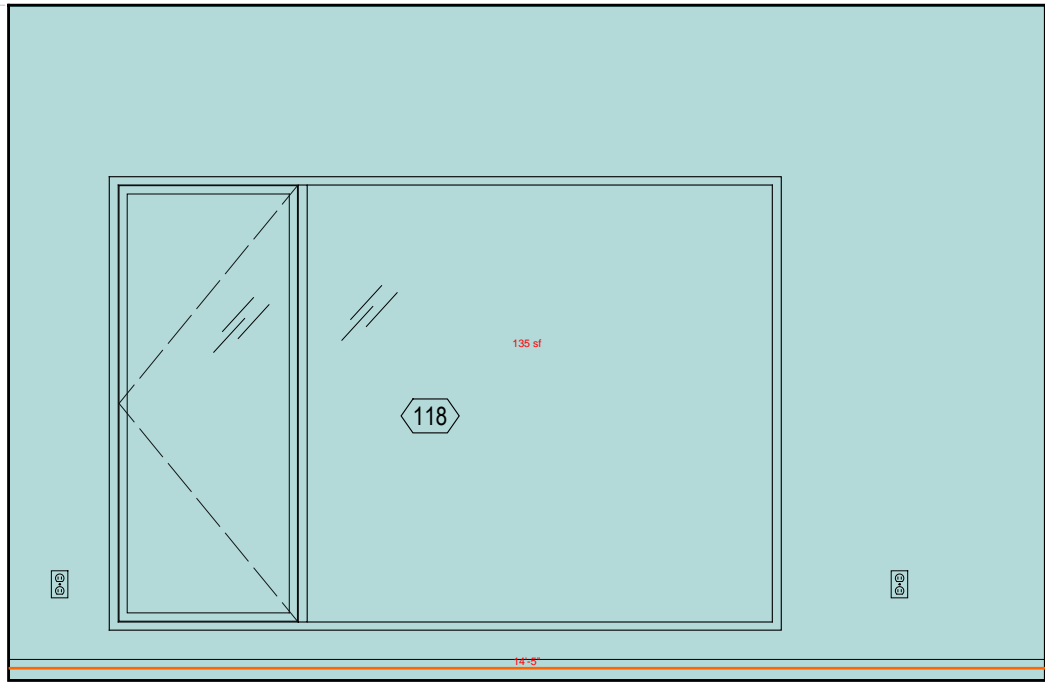
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TOILET ROOM

11

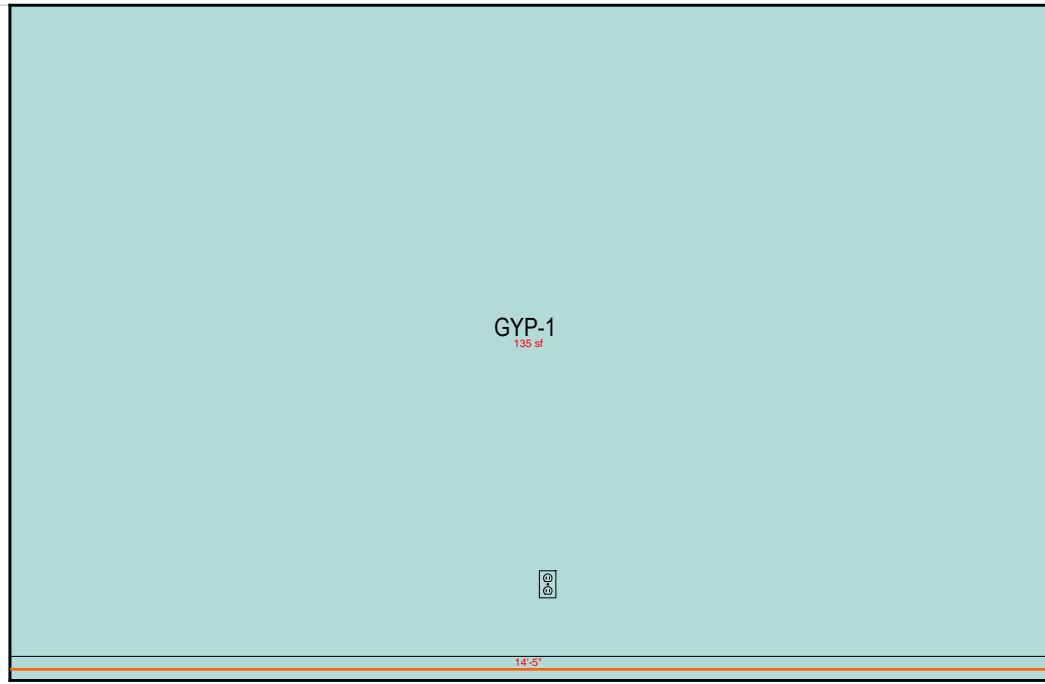
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BEDROOM 2 - EAST

10

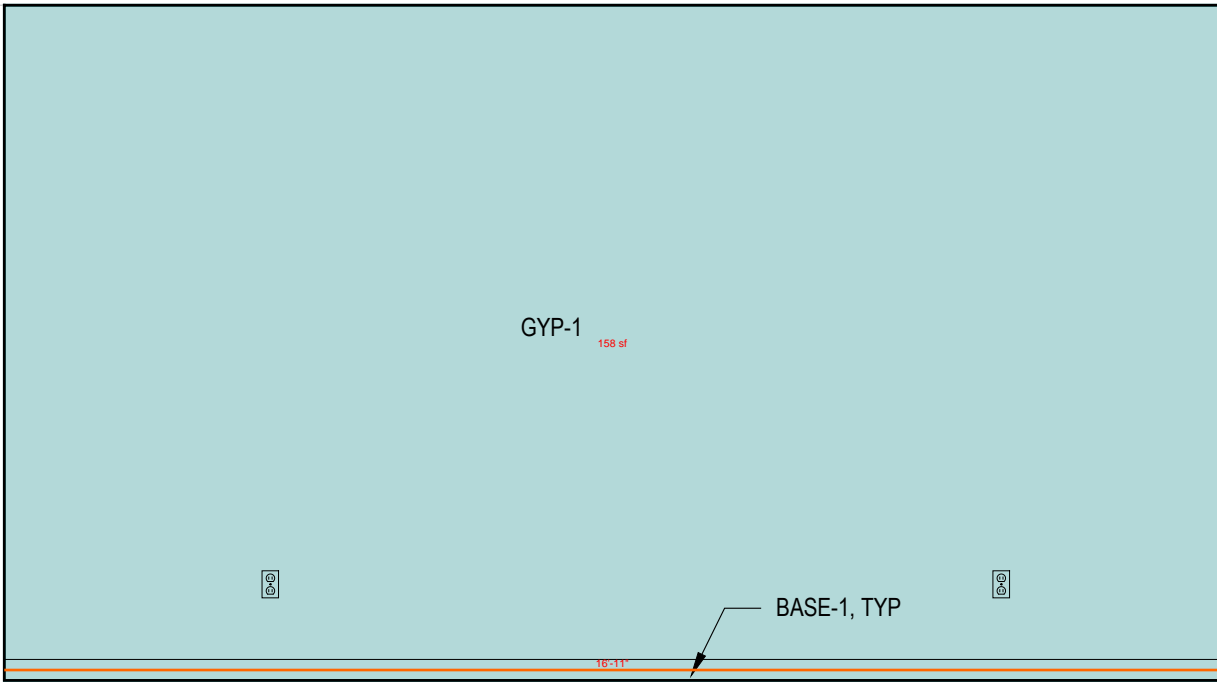
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BEDROOM 2 - SOUTH

09

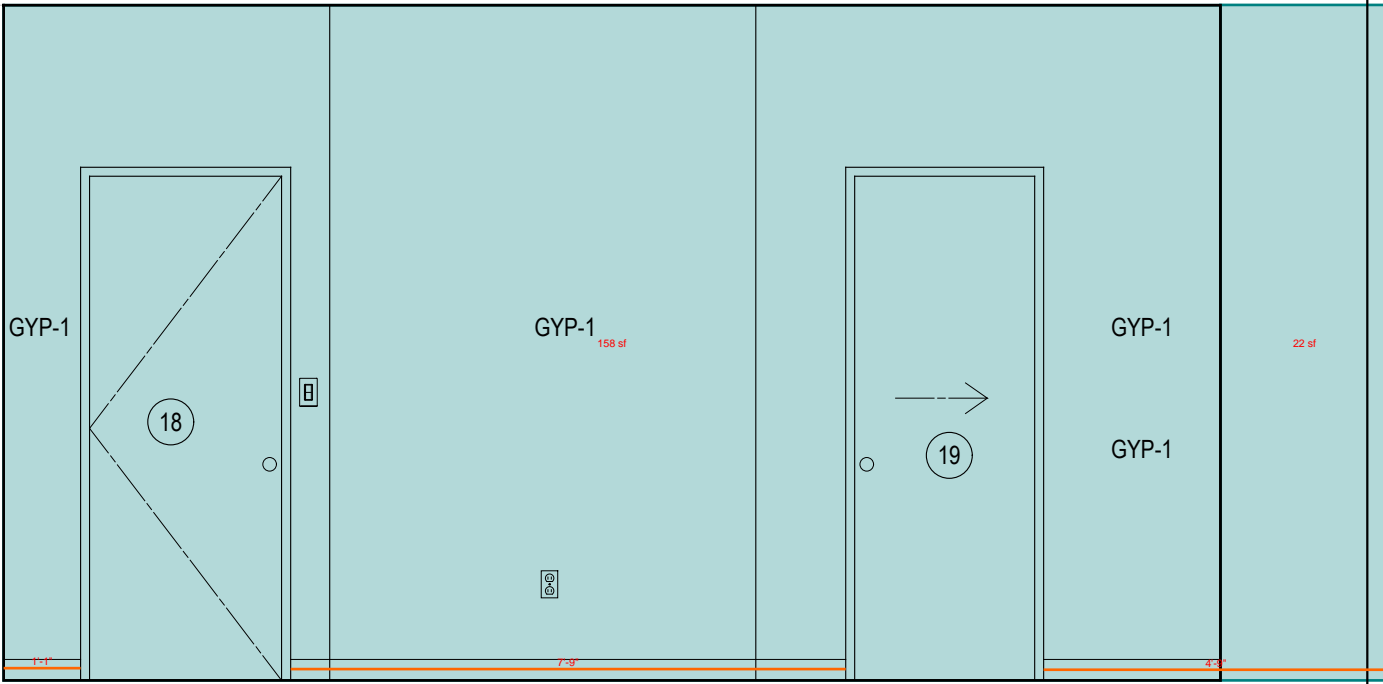
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BEDROOM 2 - WEST

08

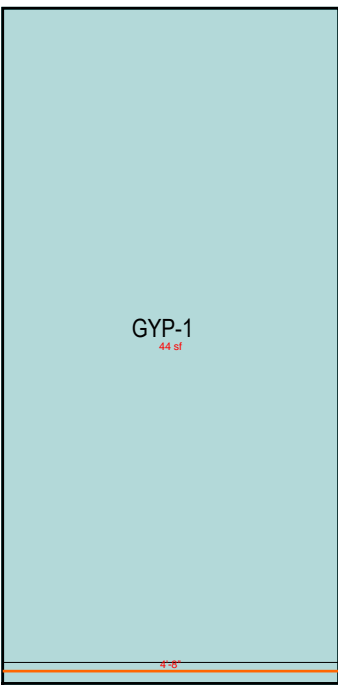
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BEDROOM 2 - NORTH

07

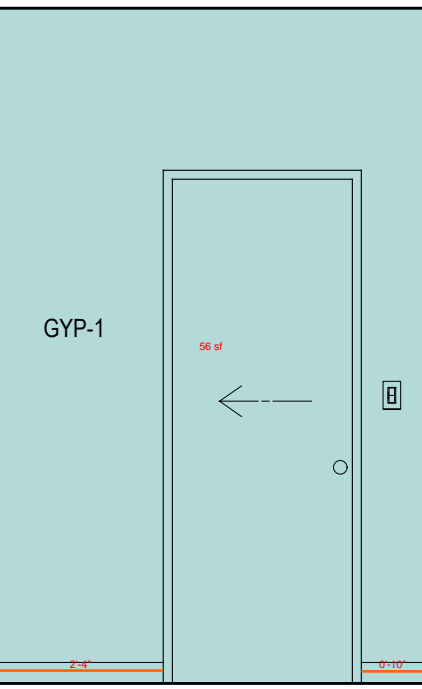
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CLOSET 2

06

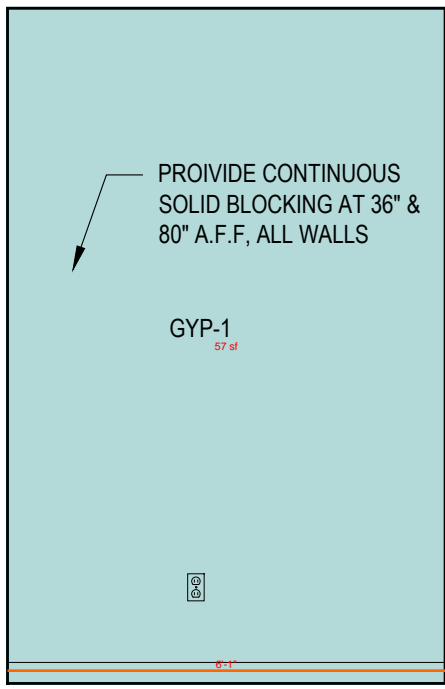
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CLOSET 1

05

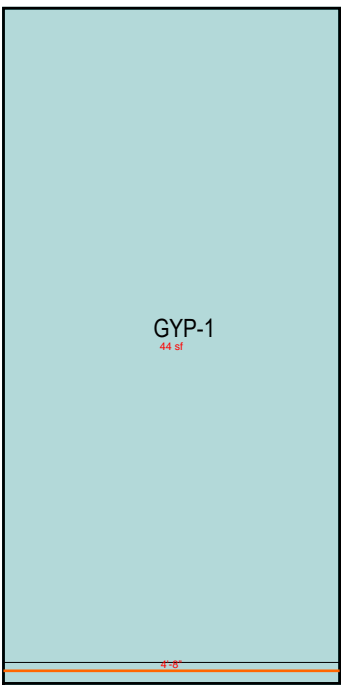
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BEDROOM 1 - EAST

04

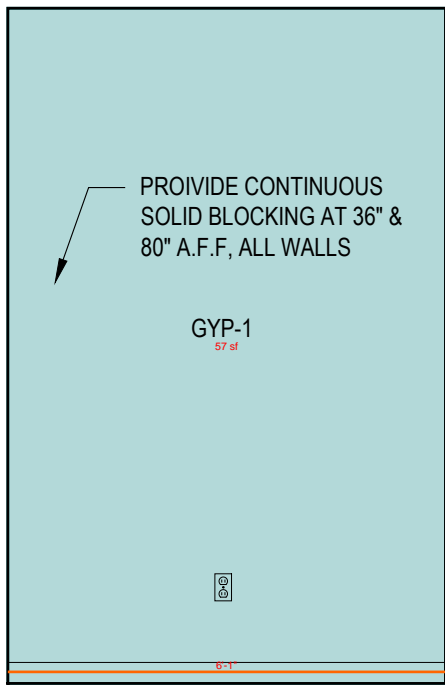
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BEDROOM 1 - SOUTH

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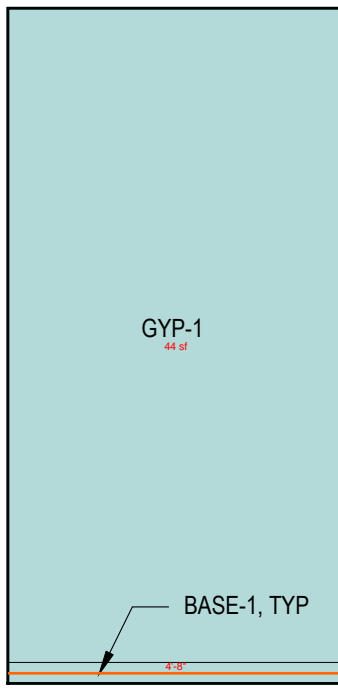
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BEDROOM 1 - WEST

02

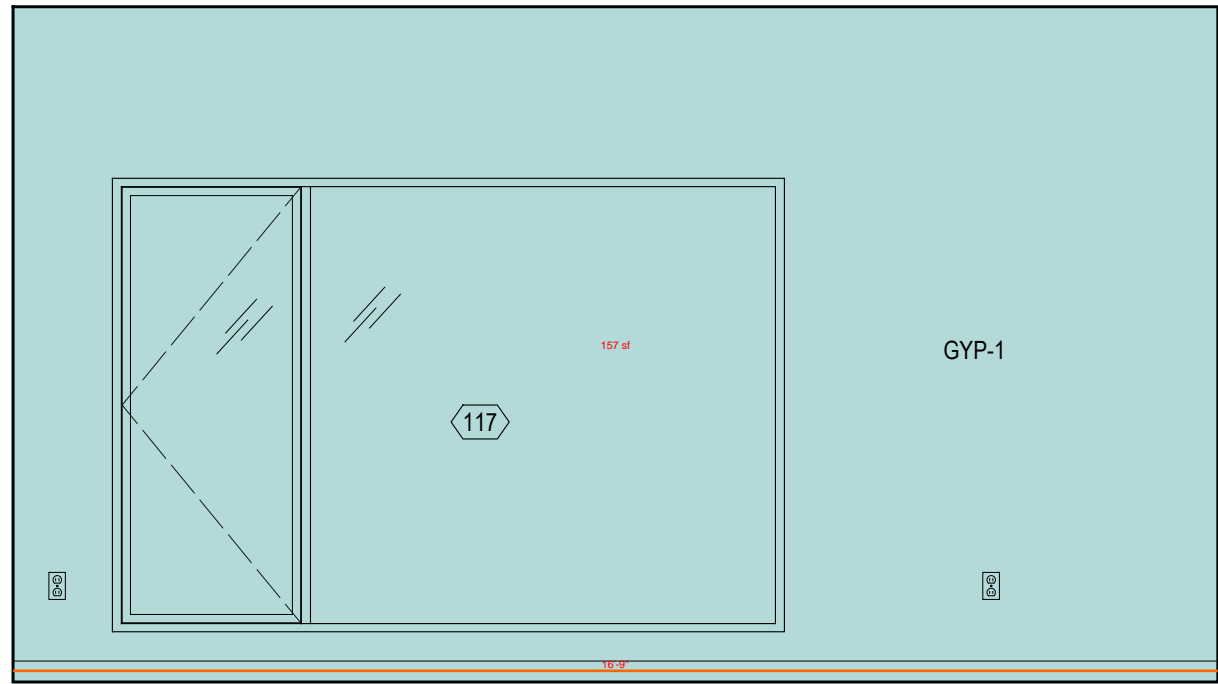
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BEDROOM 1 - NORTH

01

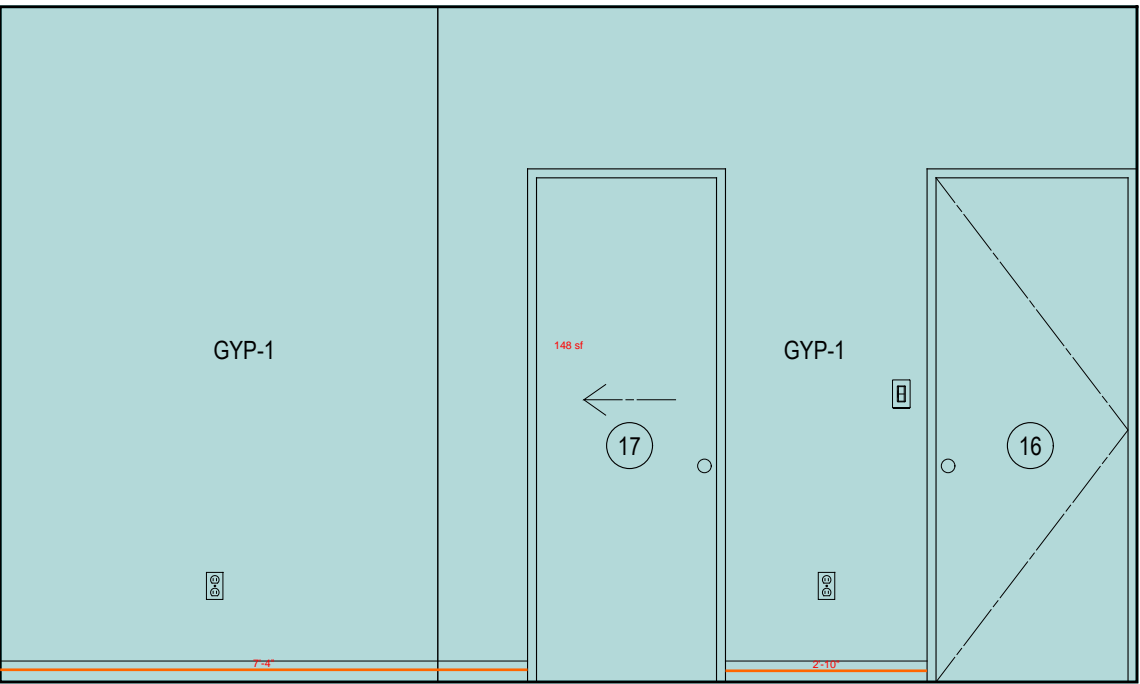
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BEDROOM 1 - EAST

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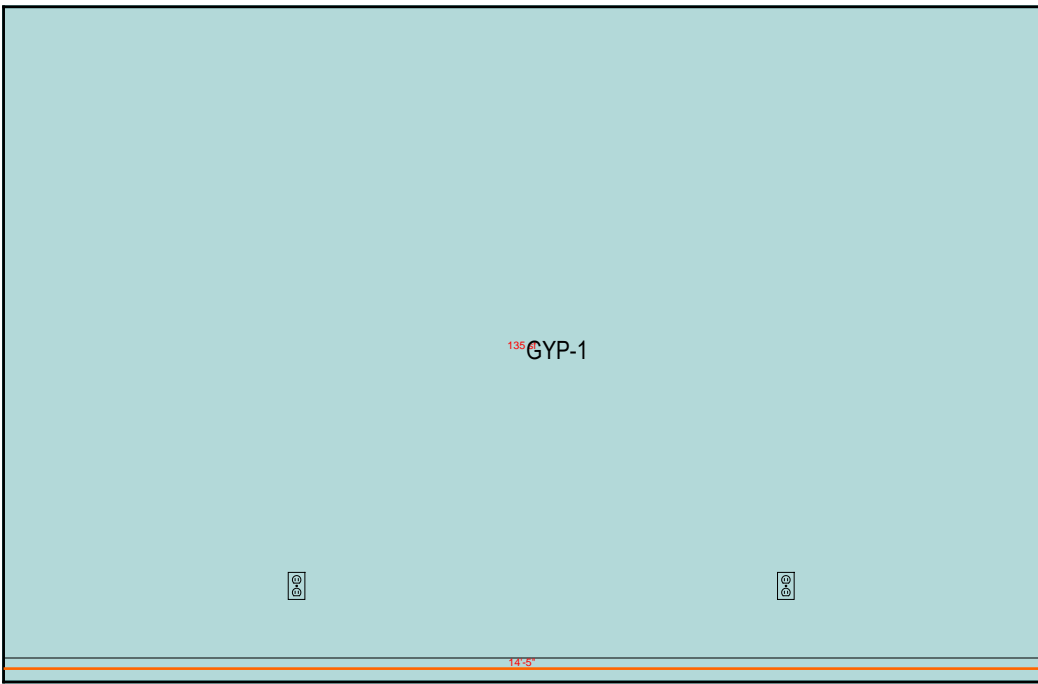
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BEDROOM 1 - SOUTH

03

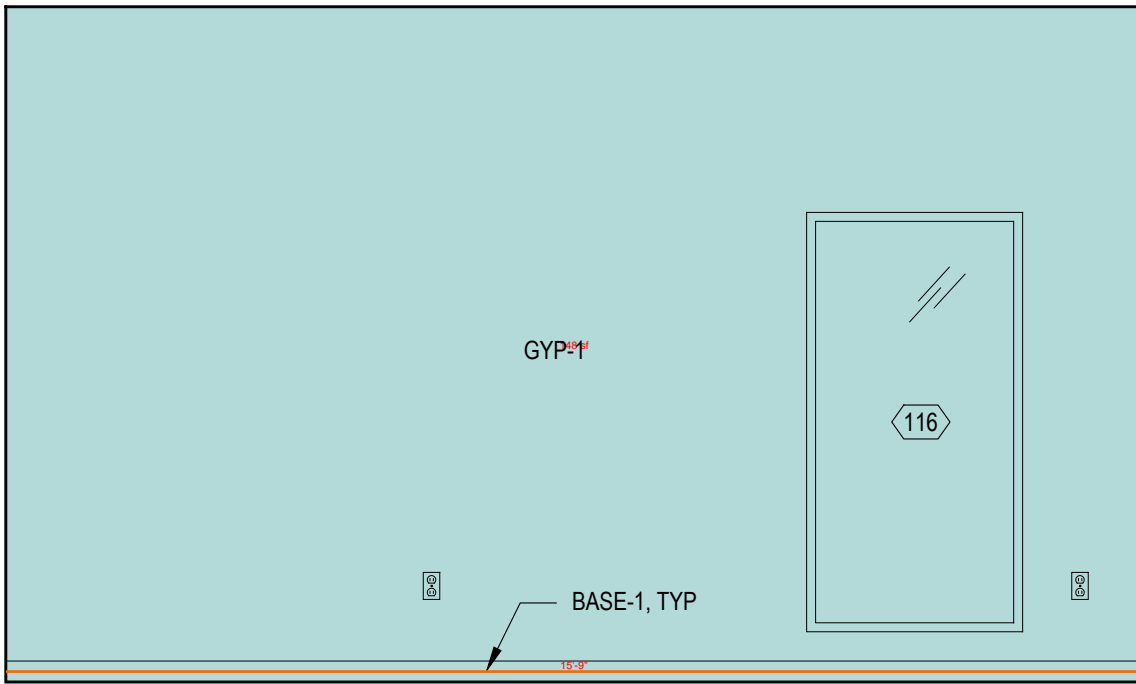
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BEDROOM 1 - WEST

02

0 1'-0" 2'-0" 4'-0"



BEDROOM 1 - NORTH

01

0 1'-0" 2'-0" 4'-0"

SCALE: 3/8" = 1'-0" ON
SCALE: 3/16" = 1'-0" ON 12X18

EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

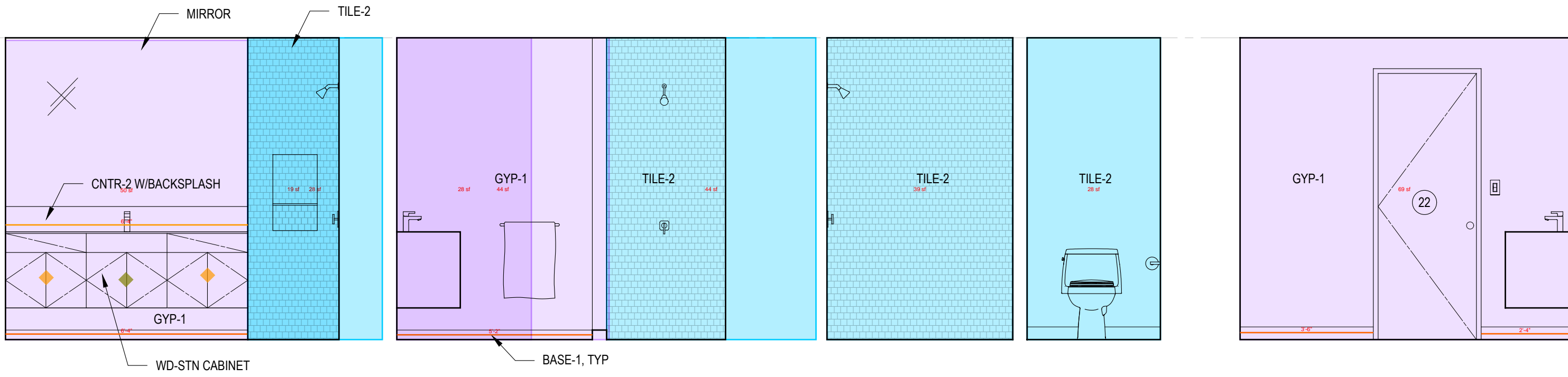
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SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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APPROVAL, OR
CONSTRUCTION

A8.3

INTERIOR ELEVATIONS

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BATHROOM 2 - EAST

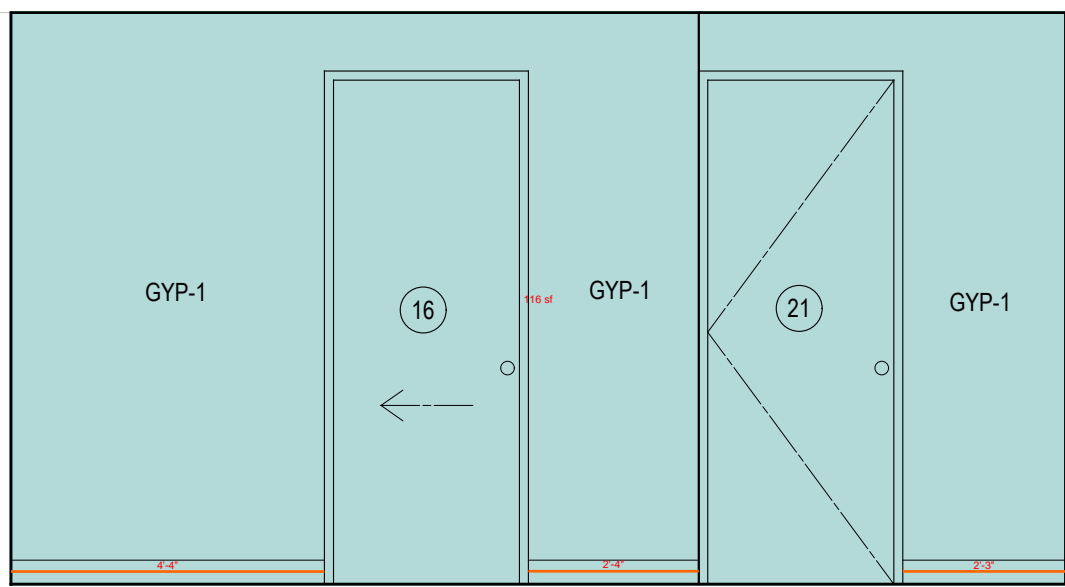
BATHROOM 2 - SOUTH

BATHROOM 2 - WEST

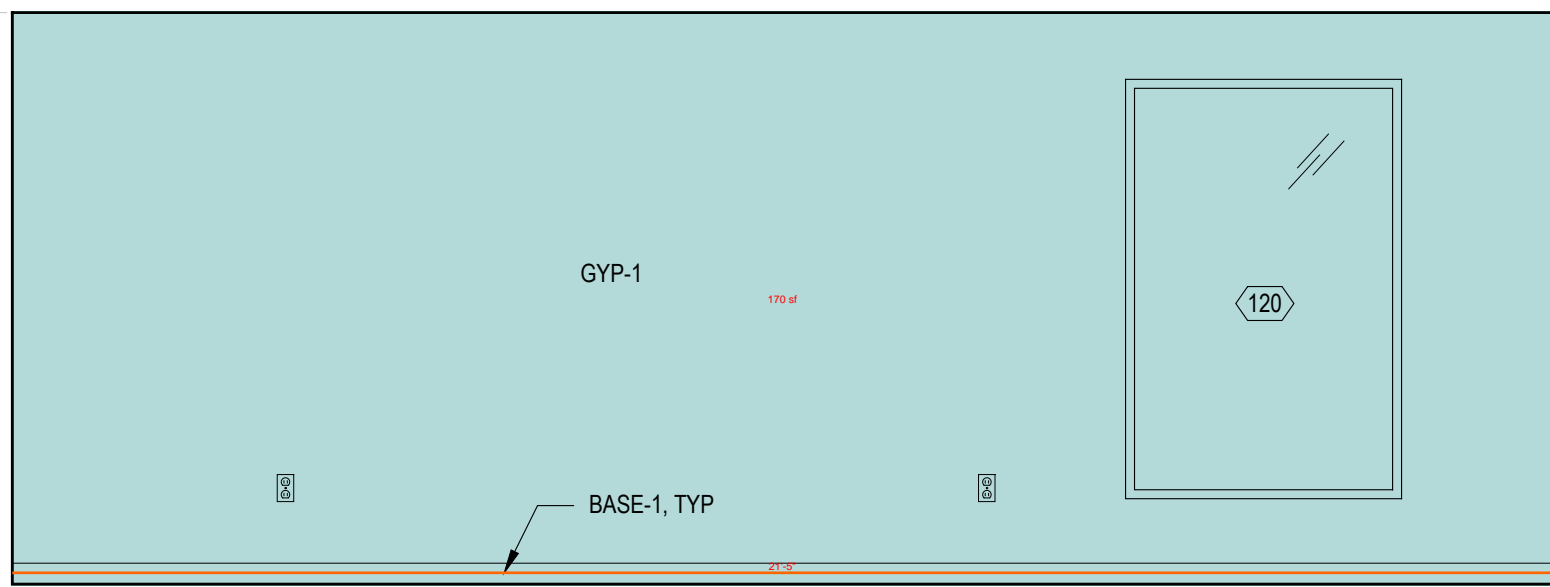
BATHROOM 2 - NORTH

BEDROOM 3 - EAST

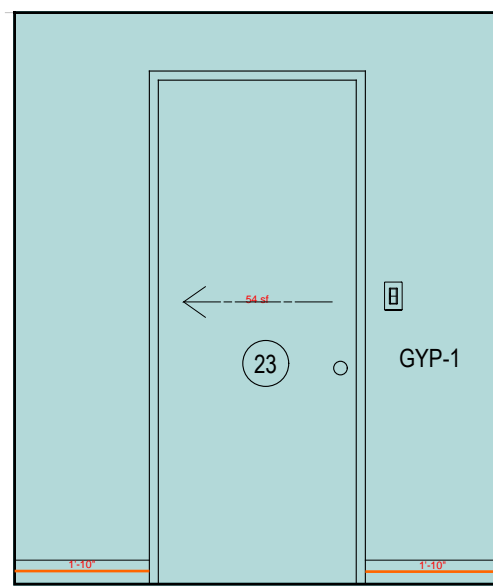
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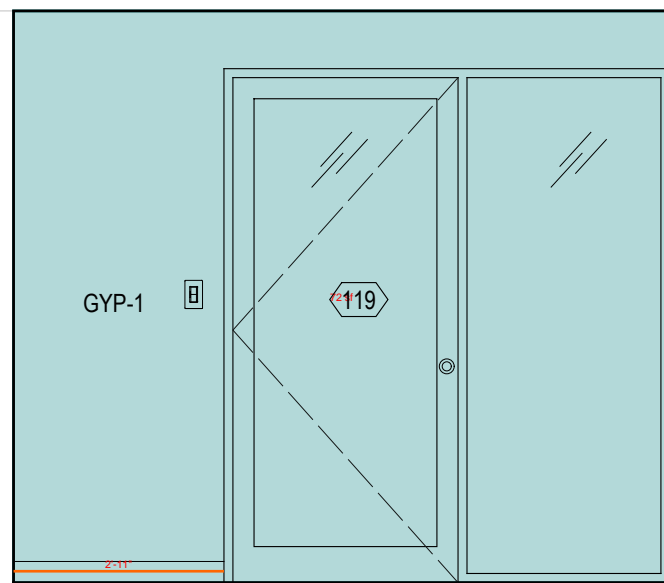
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BEDROOM 3 - NORTH



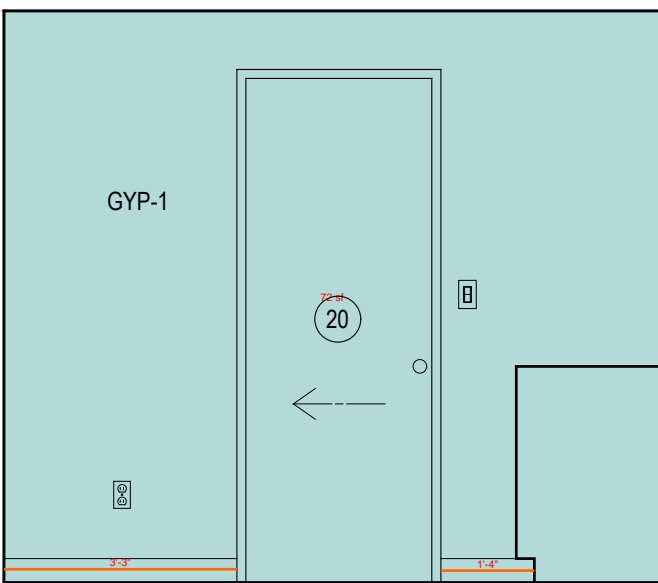
CLOSET 3



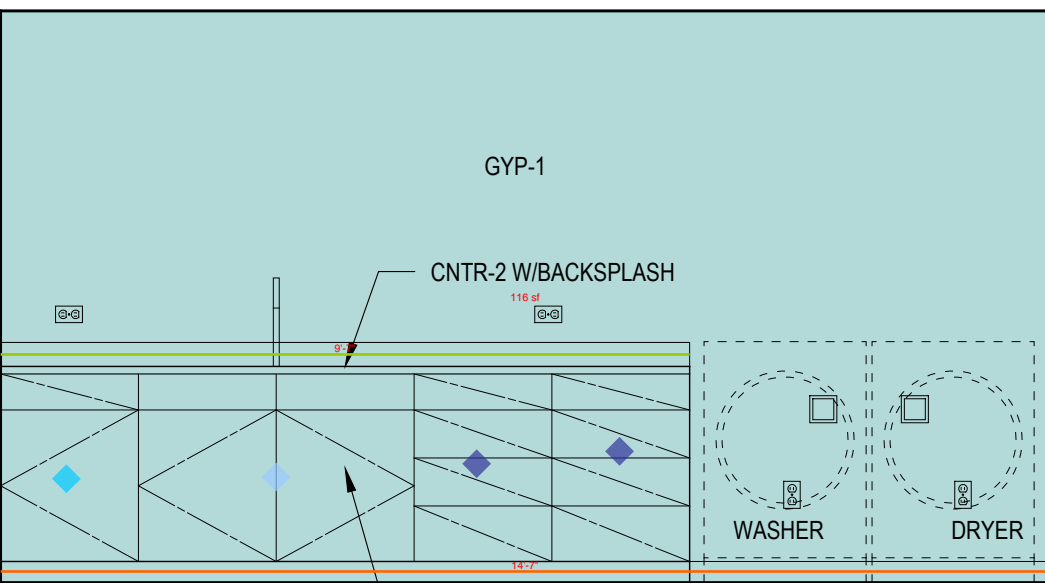
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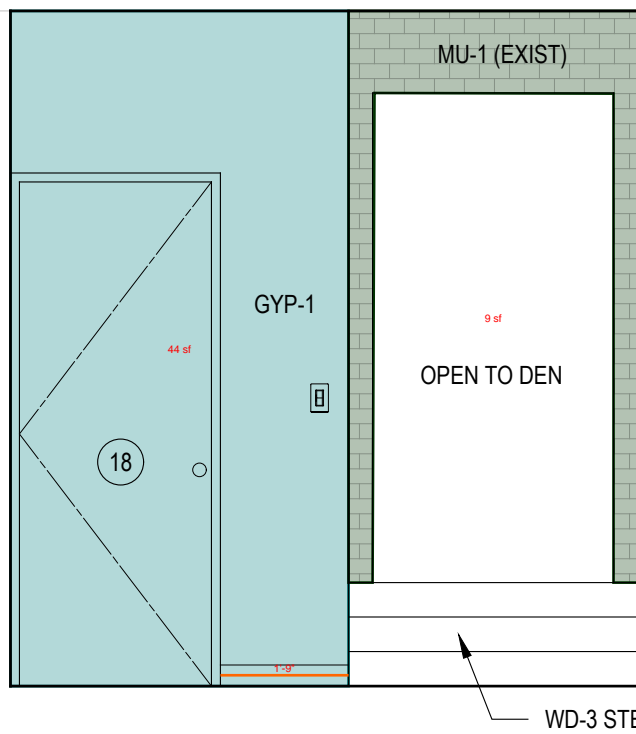
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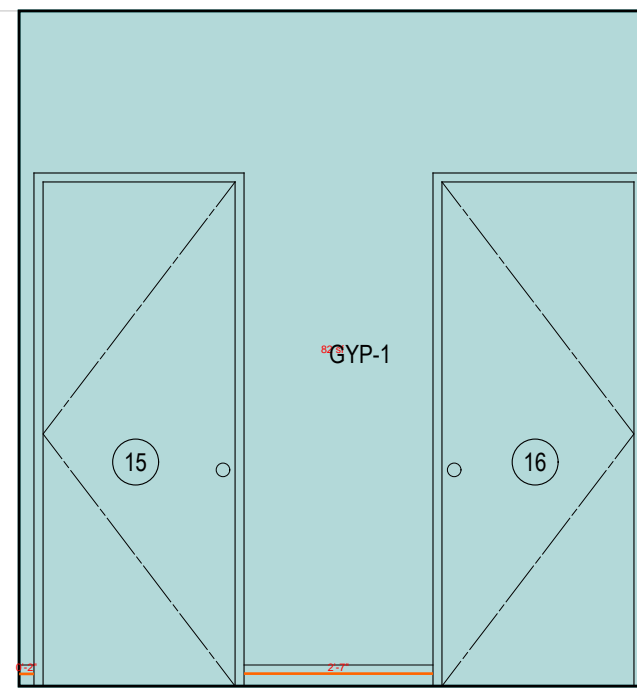
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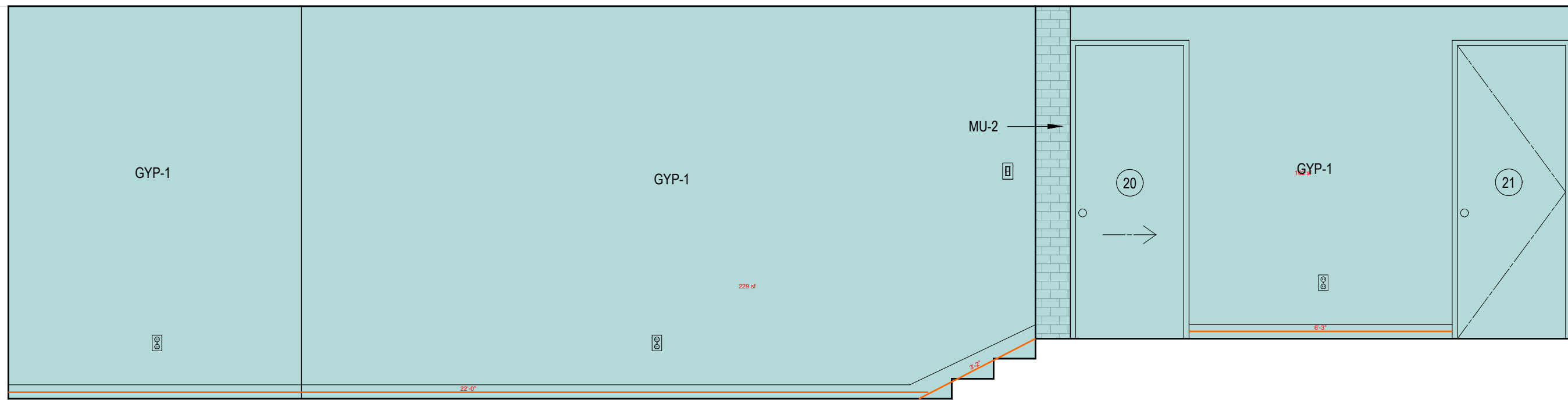
LAUNDRY - NORTH



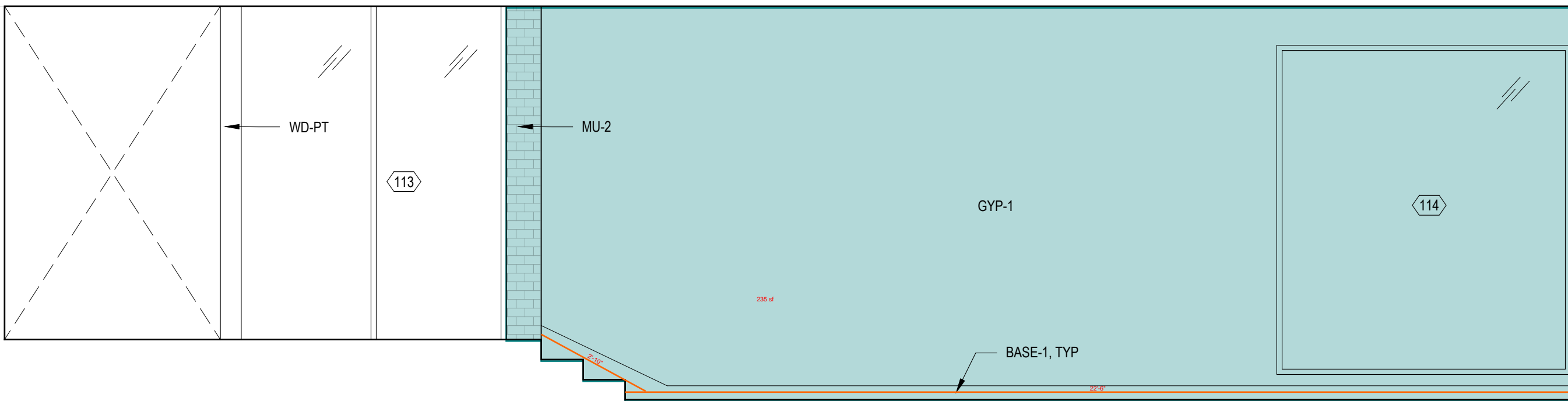
HALL - SOUTH



HALL - NORTH



HALL - EAST



HALL - WEST

Legend			
Millwork - 1'-10" deep countertop for bath 2 w/ 8" backsplash and CNTR-2 finish	6.37	ft	
Millwork - 2'-0" deep countertop for laundry w/ backsplash and CNTR-2 finish	9.57	ft	
Millwork - Base cabinet at laundry w/ 1 drawer, 1 door and WD-STN finish Size: 1'-11"W x 3'-0"H x 2'-0"D	1	Count	
Millwork - Base cabinet at laundry w/ 2 doors and WD-STN finish Size: 4'-0"W x 3'-10"H x 2'-0"D	1	Count	
Millwork - Base cabinet at laundry w/ 4 drawers and WD-STN finish Size: 1'-11"W x 3'-0"H x 2'-0"D	2	Count	
Millwork - Floating vanity at bath 2 w/ 1 Drawer, 2 door and WD-STN finish Size: 2'-1"W x 2'-1"H x 1'-10"D	2	Count	
Millwork - Floating vanity at bath 2 w/ 2 door and WD-STN finish Size: 2'-1"W x 2'-1"H x 1'-10"D	1	Count	
Wall finish - 5/8" water resistant gypsum board, Level 5	476	sf	
Wall finish - Gyp-1	187.28	ft	
Wall finish - MU-1: Paint	1,422	sf	
Wall finish - Tile-2, 1/2" tile backer board	157	sf	

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

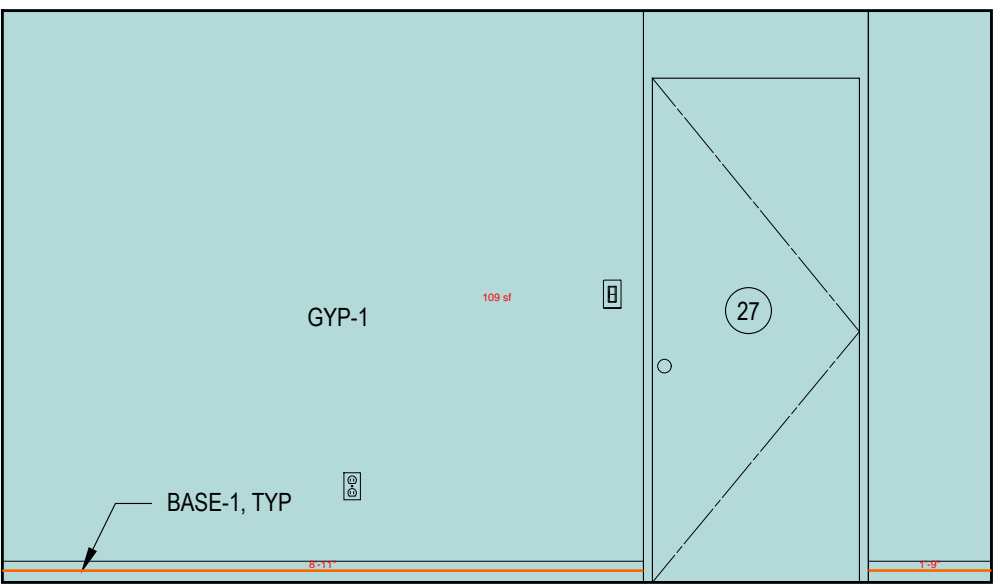
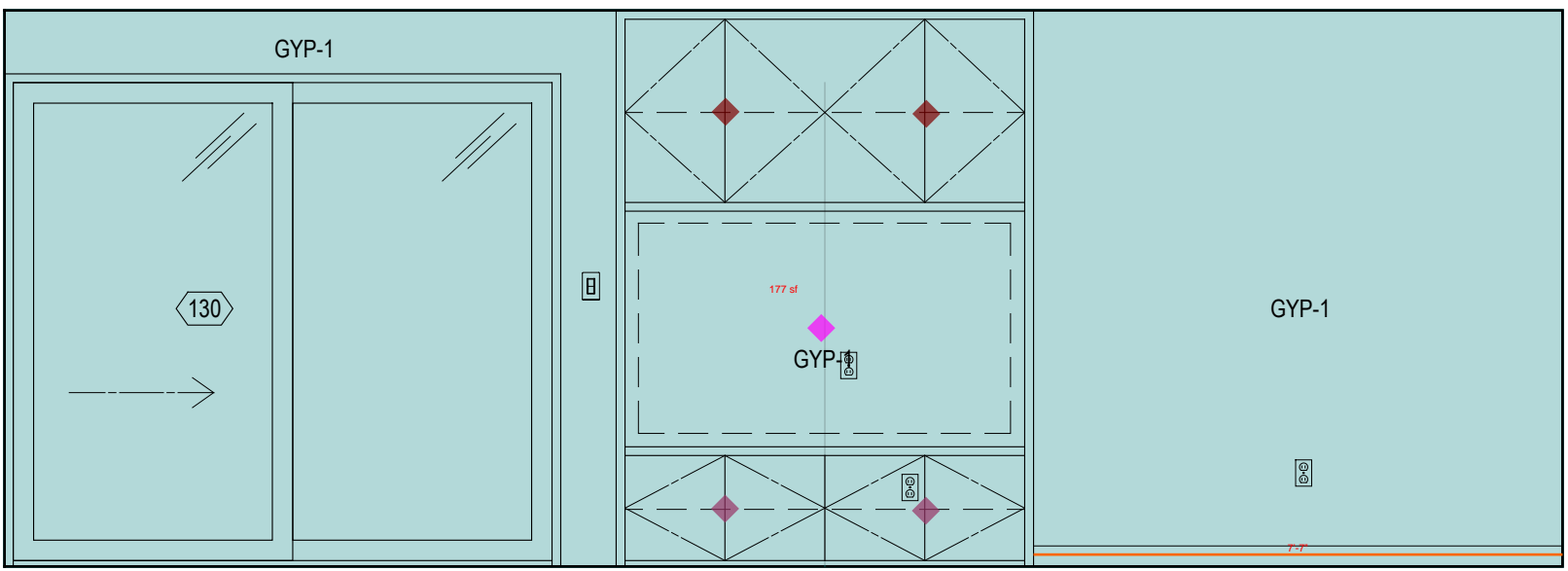
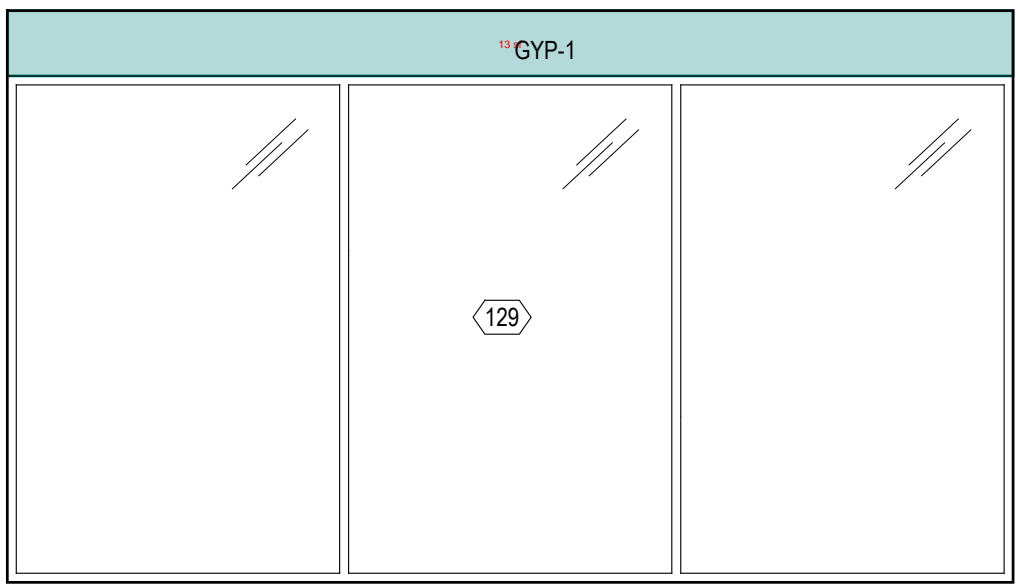
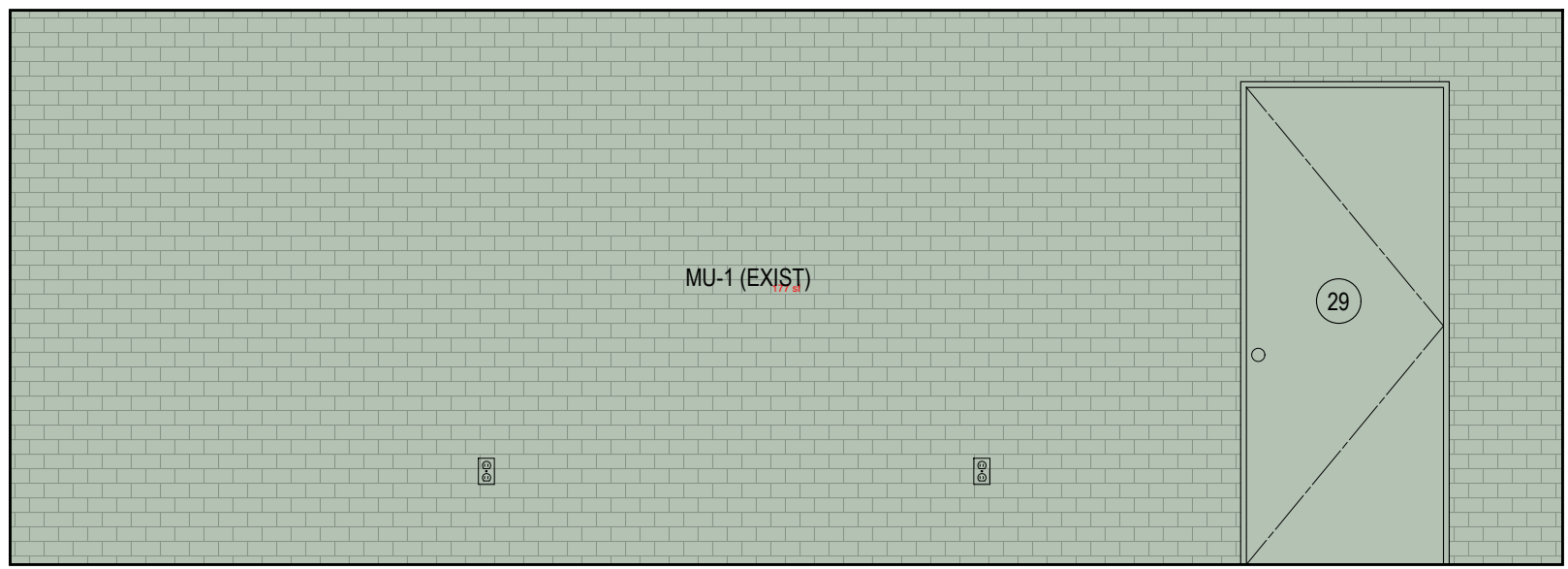
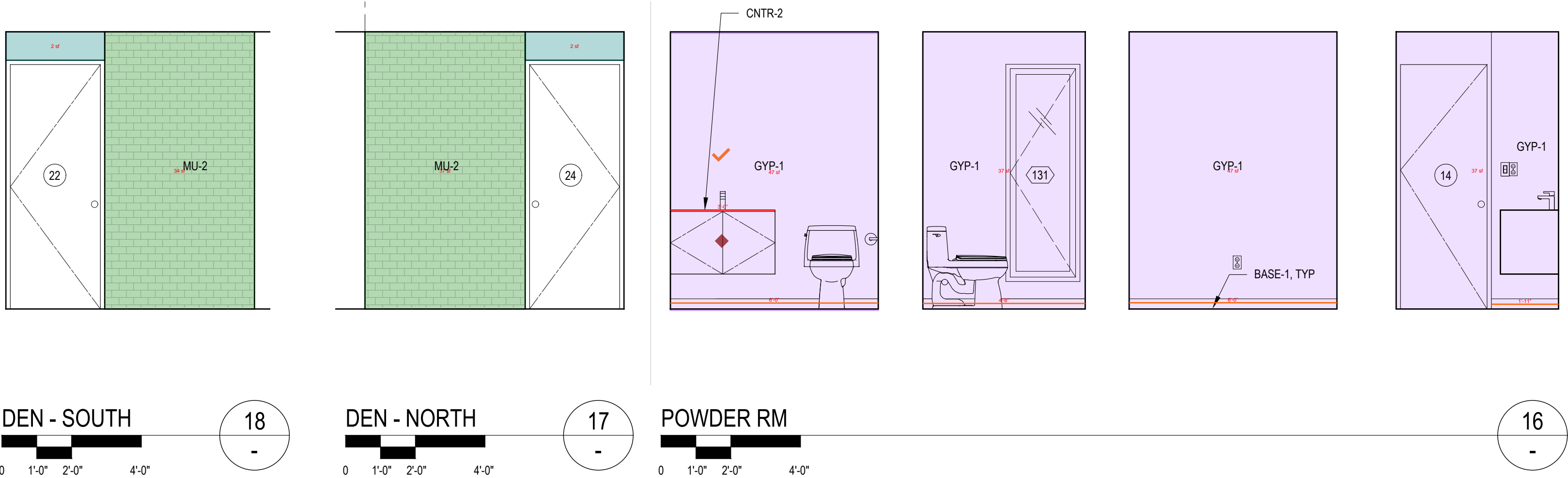
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SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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A8.4
INTERIOR ELEVATIONS

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Legend		Quantity	Unit
✓	Millwork - 1'-7" deep countertop for powder room w/ CNTR-2 finish	3.01	ft
◆	Millwork - Base cabinet for Master bed w/ 1 shelf, 2 doors and WD-STN finish Size: 3'-0"W x 1'-9"H x 1'-3"D	2	Count
◆	Millwork - Floating vanity at powder w/ 2 door and WD-STN finish Size: 3'-0"W x 1'-10"H x 1'-7"D	1	Count
◆	Millwork - Open wall frame for TV w/ WD-STN finish Size: 6'-0"W x 3'-4"H x 1'-3"D	1	Count
◆	Millwork - Tall cabinet for master closet w/ 10 shelves and WD-1P finish Size: 3'-0"W x 1'-0"D x 7'-11"H	2	Count
◆	Millwork - Wall cabinet for Master bed w/ 1 shelf, 2 doors and WD-STN finish Size: 3'-0"W x 2'-10"H x 1'-3"D	2	Count
✓	Specia - Mirror w/ stainless steel 3/4" square frame, 36"x24"	1	Count
■	Wall finish - 5/8" water resistant gypsum board, Level 5	169	sf
■	Wall finish - Base-1	154.08	ft
■	Wall finish - Gyp-1	1,413	sf
■	Wall finish - Gyp, Level 0, MU-2	71	sf
■	Wall finish - MU-1: Paint	177	sf

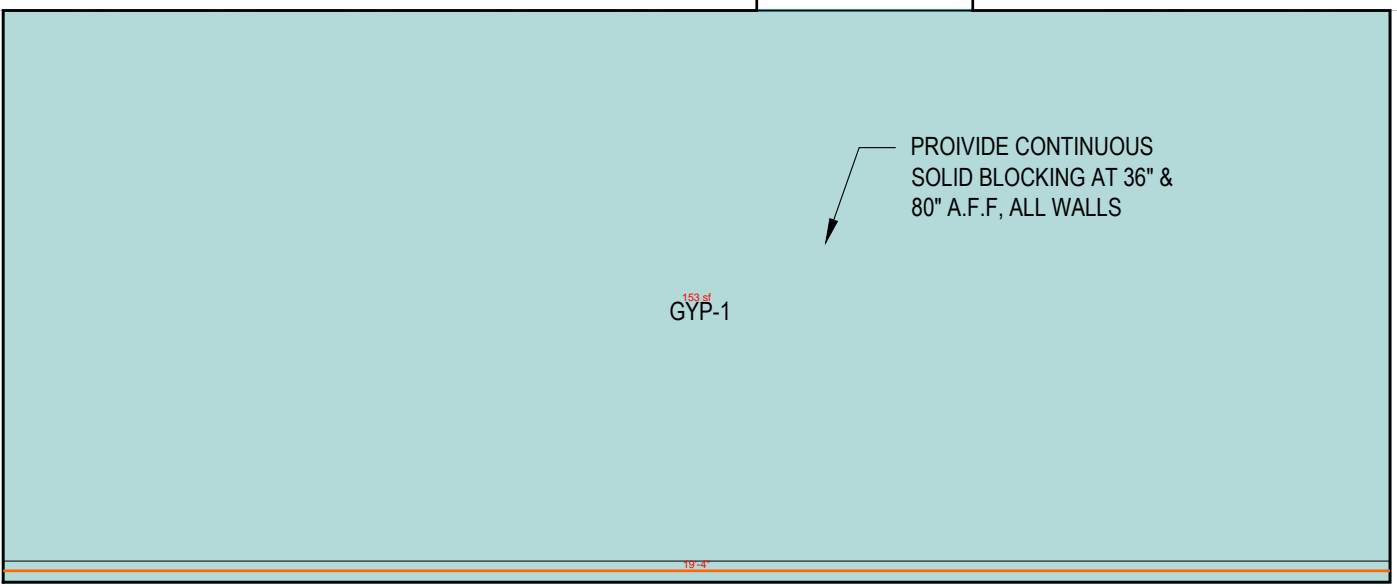
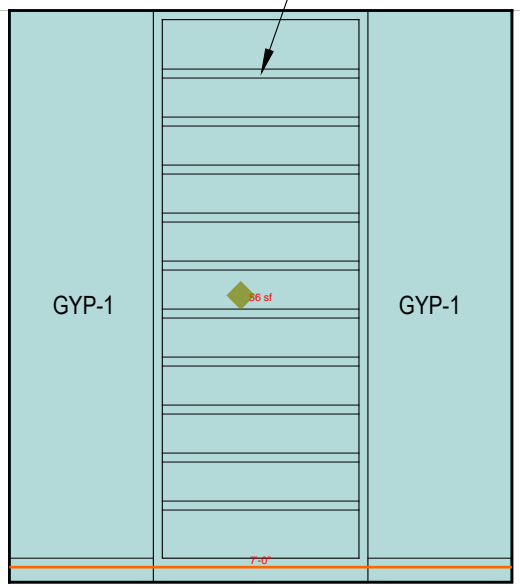
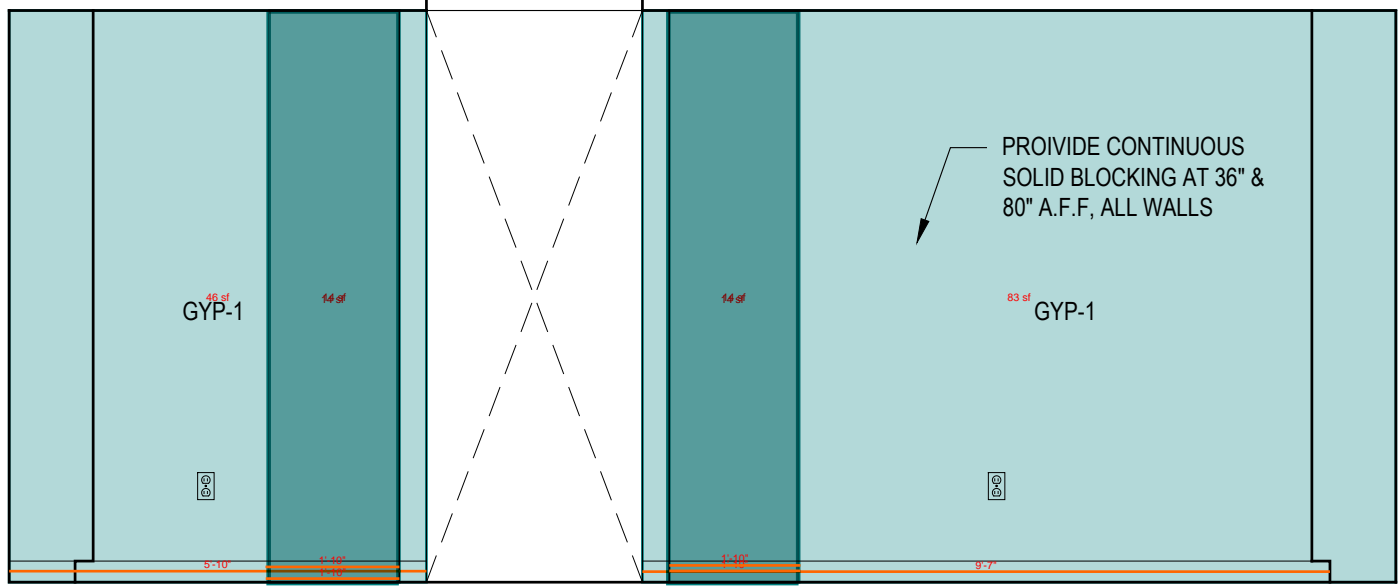
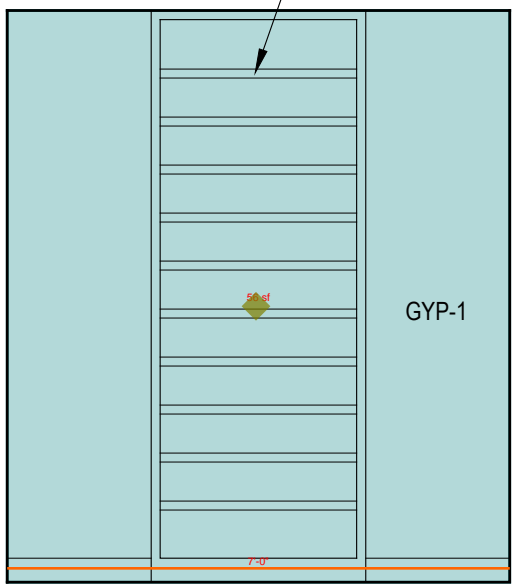
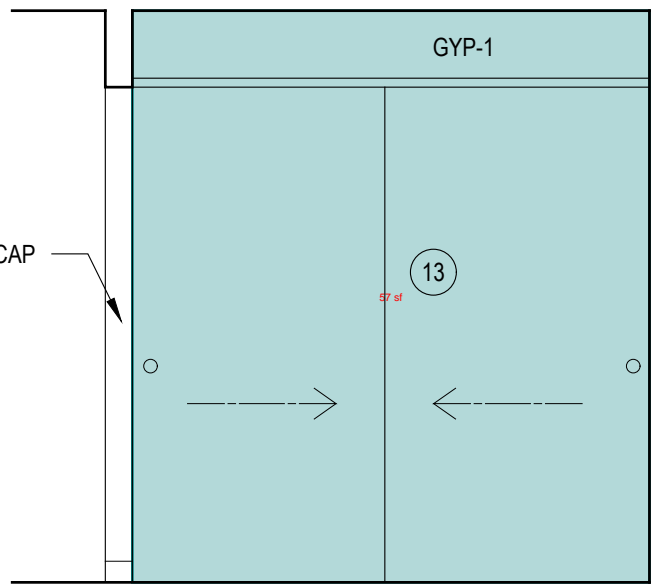
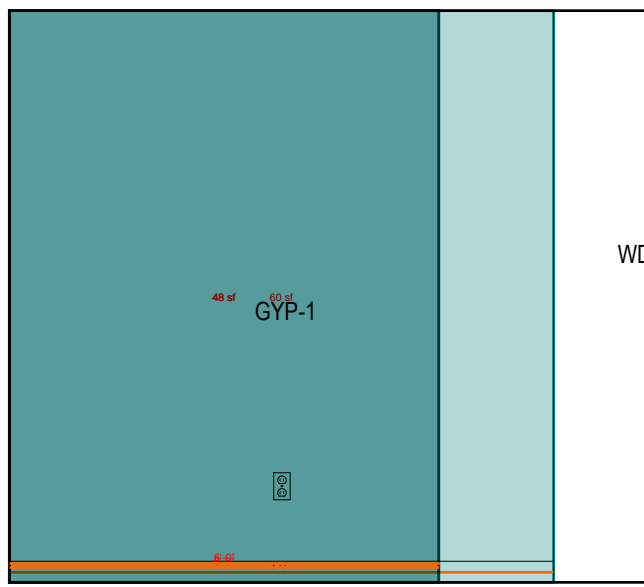


MASTER BEDROOM - EAST

MASTER BEDROOM - SOUTH

MASTER BEDROOM - WEST

MASTER BEDROOM - NORTH



COAT CLO - WEST

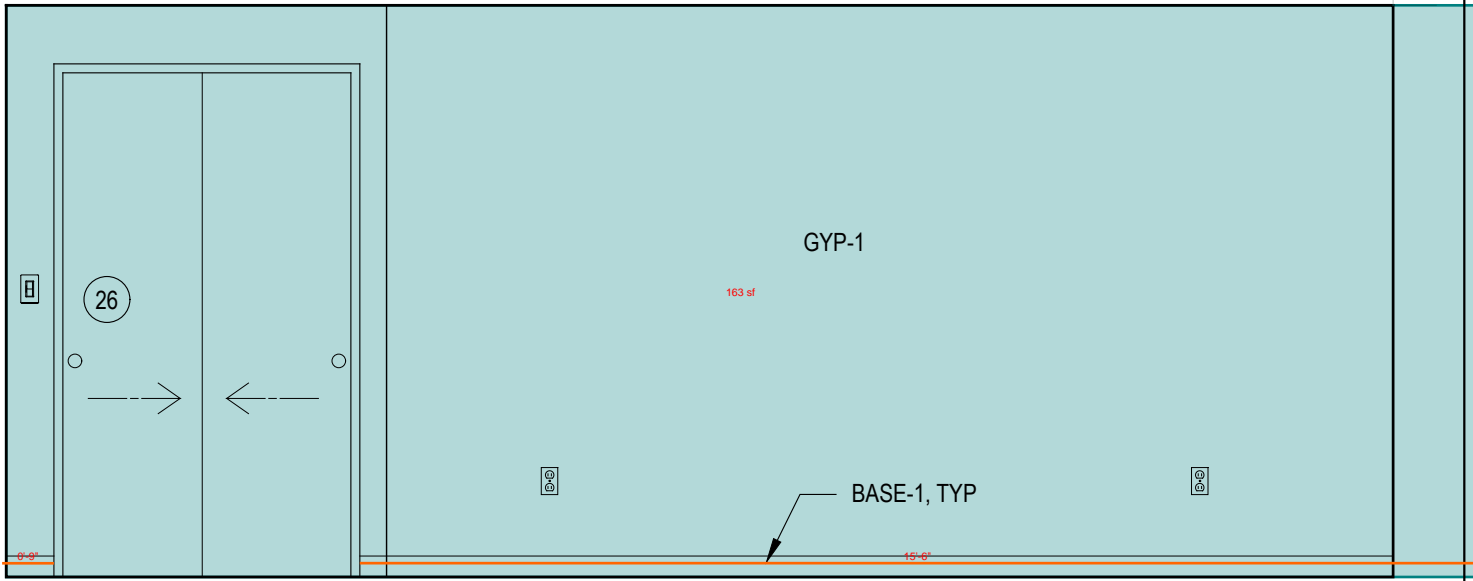
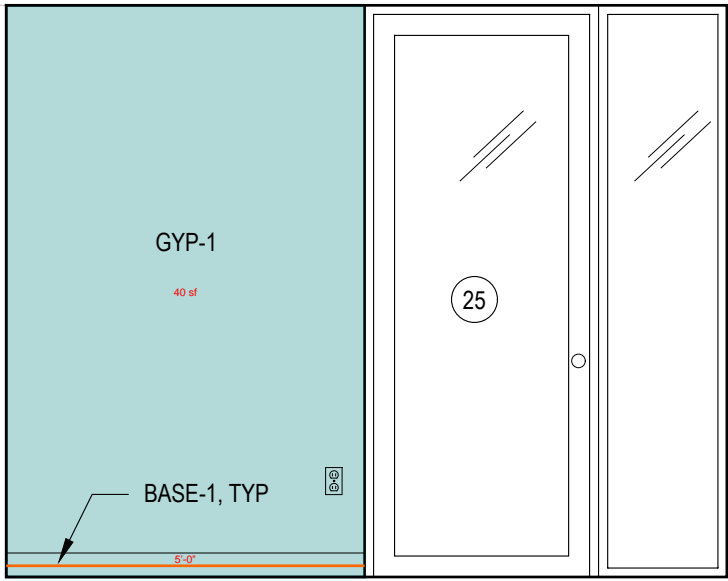
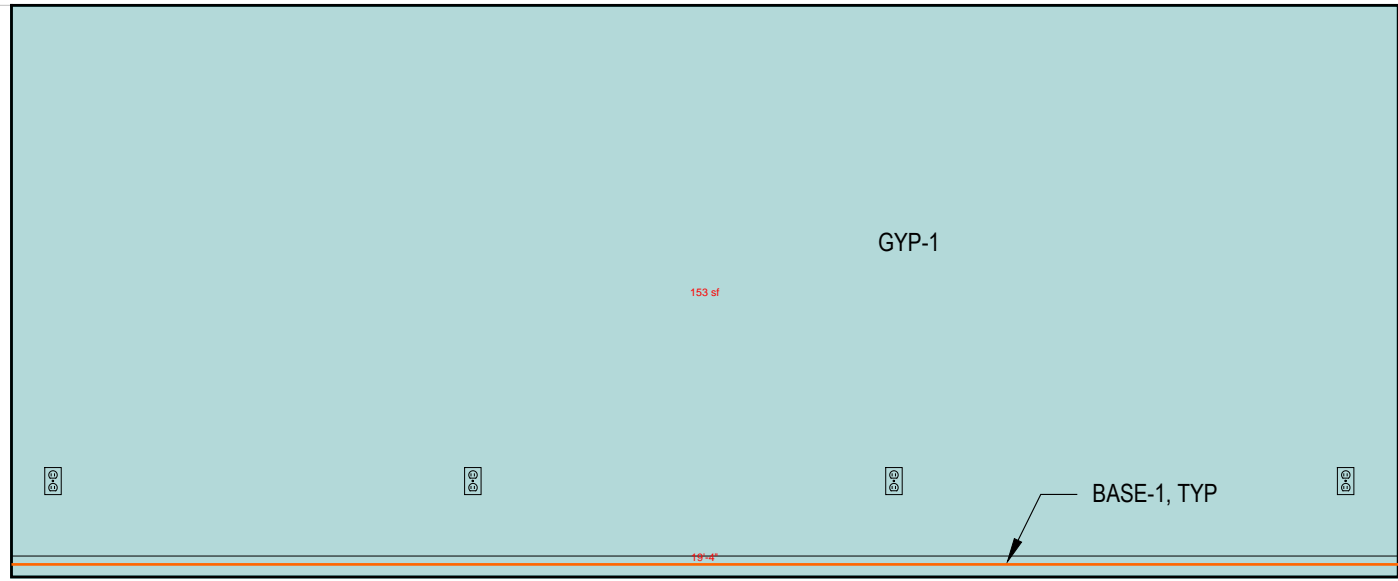
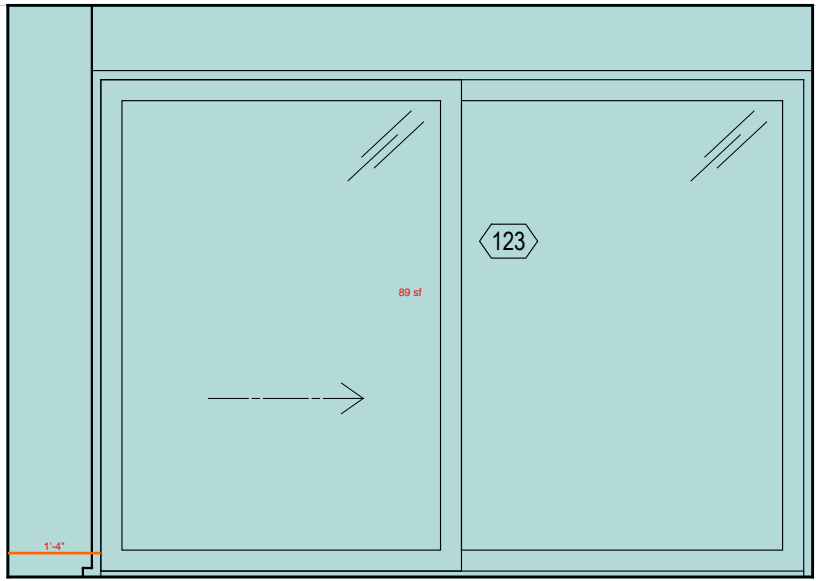
COAT CLO - EAST

MASTER CLO - EAST

MASTER CLO - STOUH

MASTER CLO - WEST

MASTER CLOSET - NORTH



BED 4 - EAST

BED 4 - SOUTH

BED 4 - WEST

BED 4 - NORTH

SCALE: 3/8" = 1'-0" ON
SCALE: 3/16" = 1'-0" ON 12X18

EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

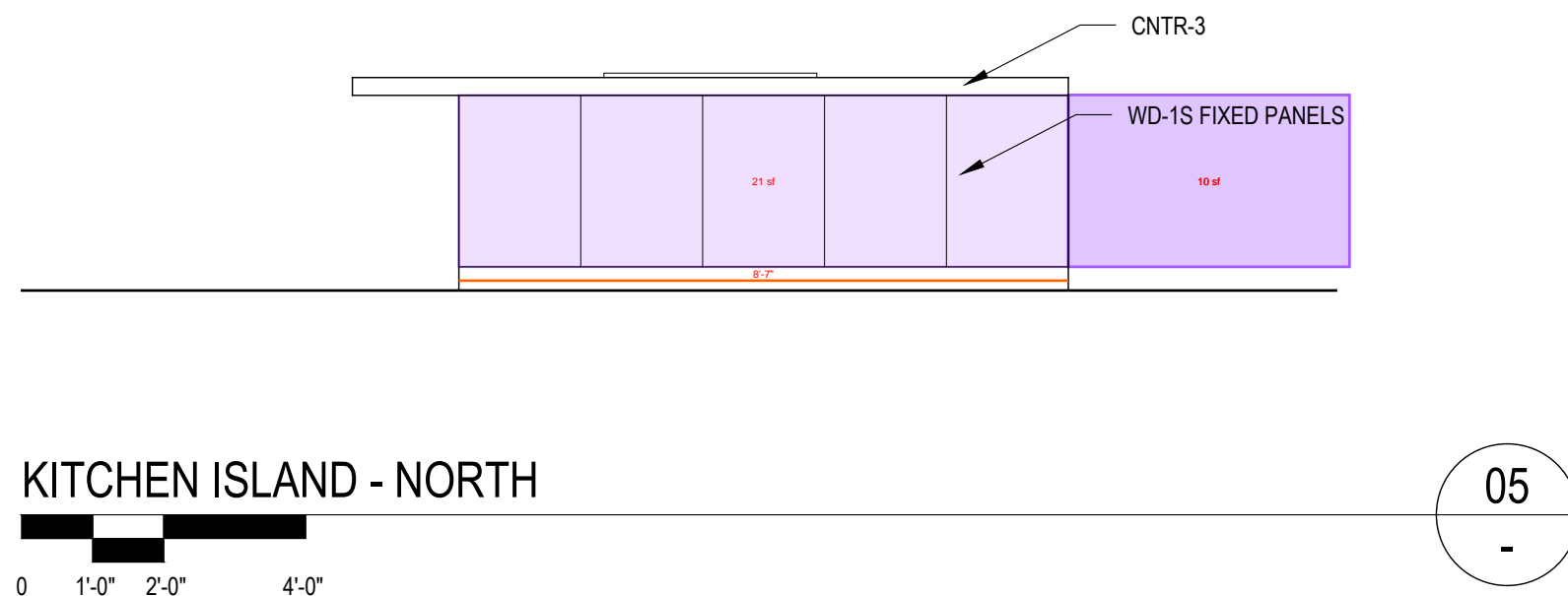
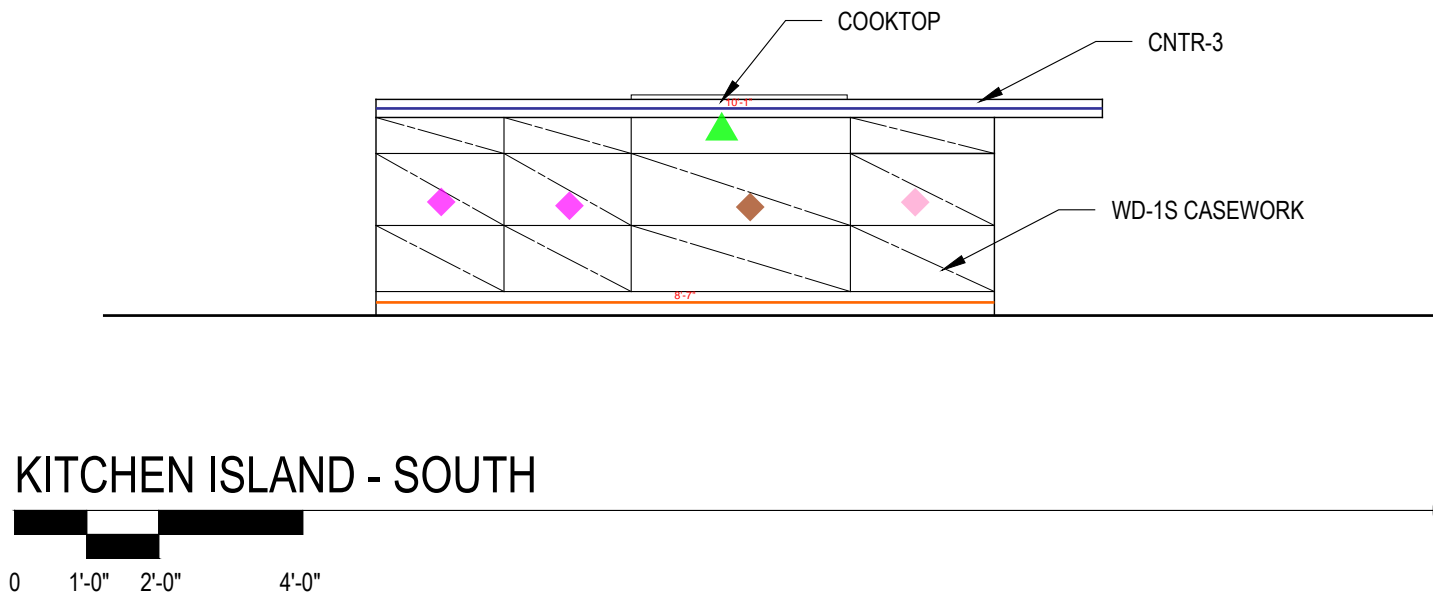
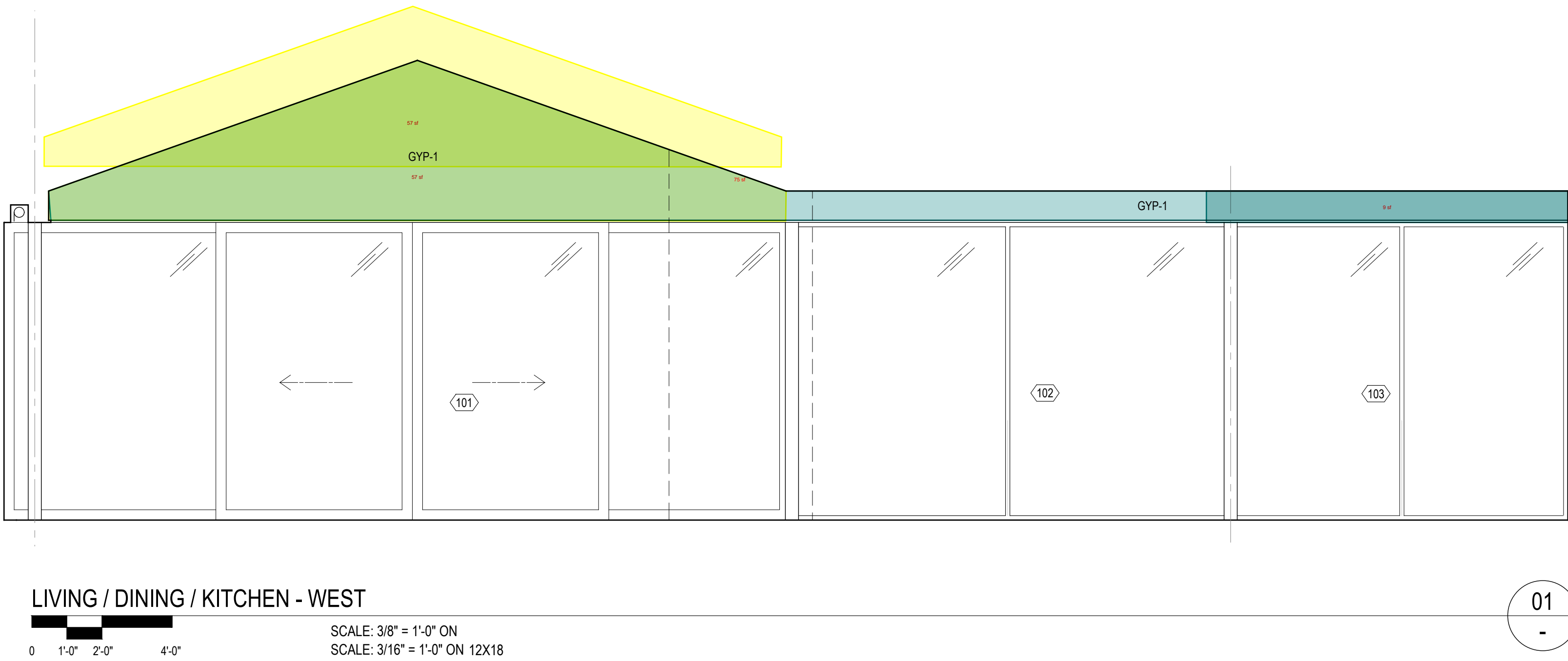
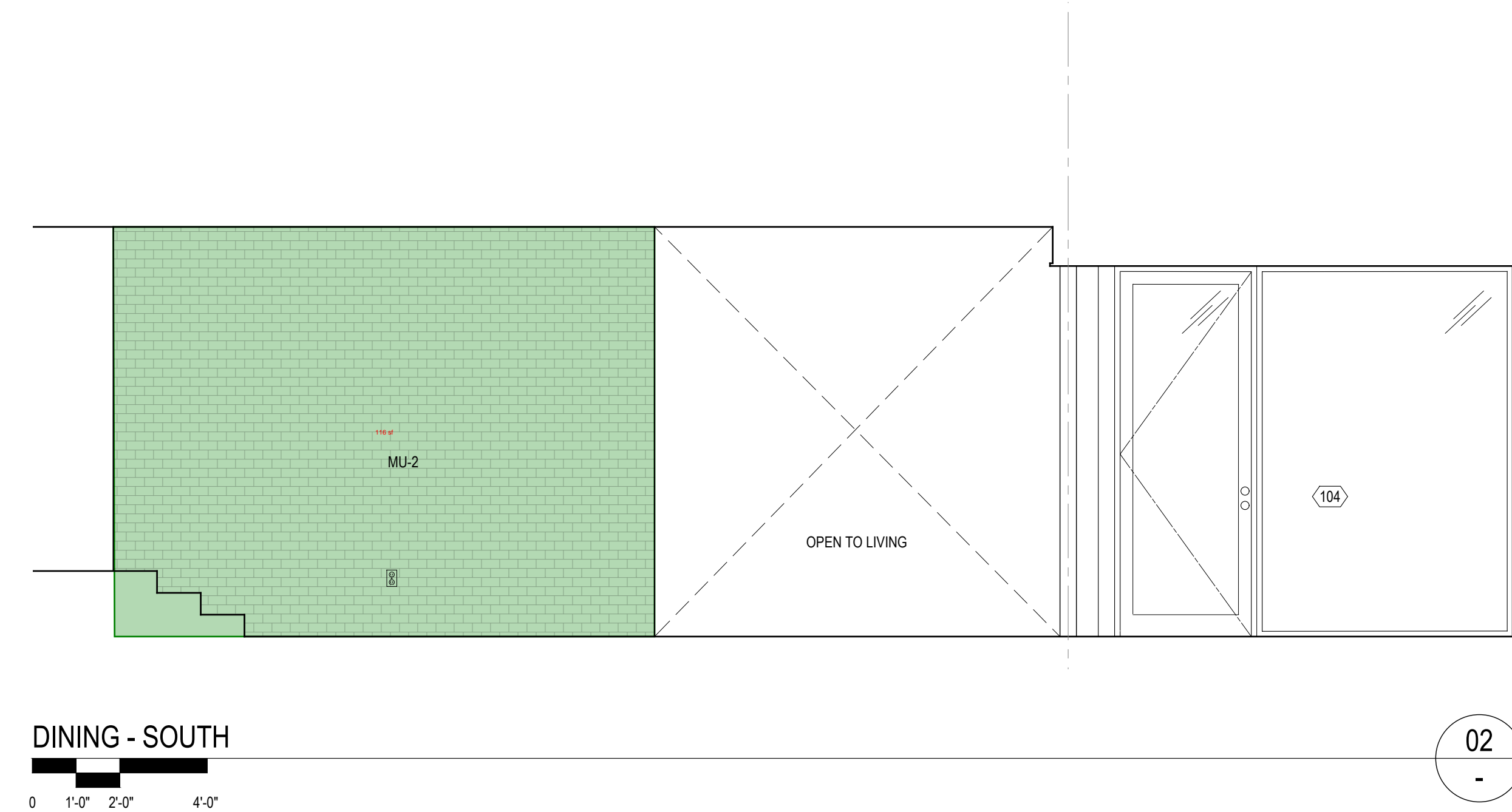
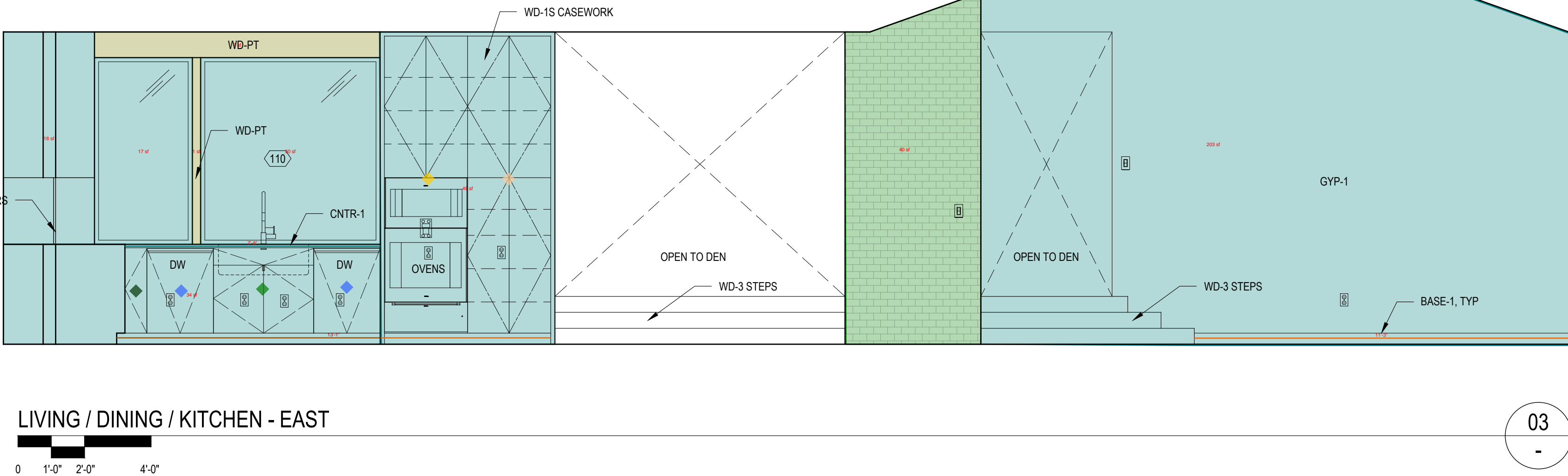
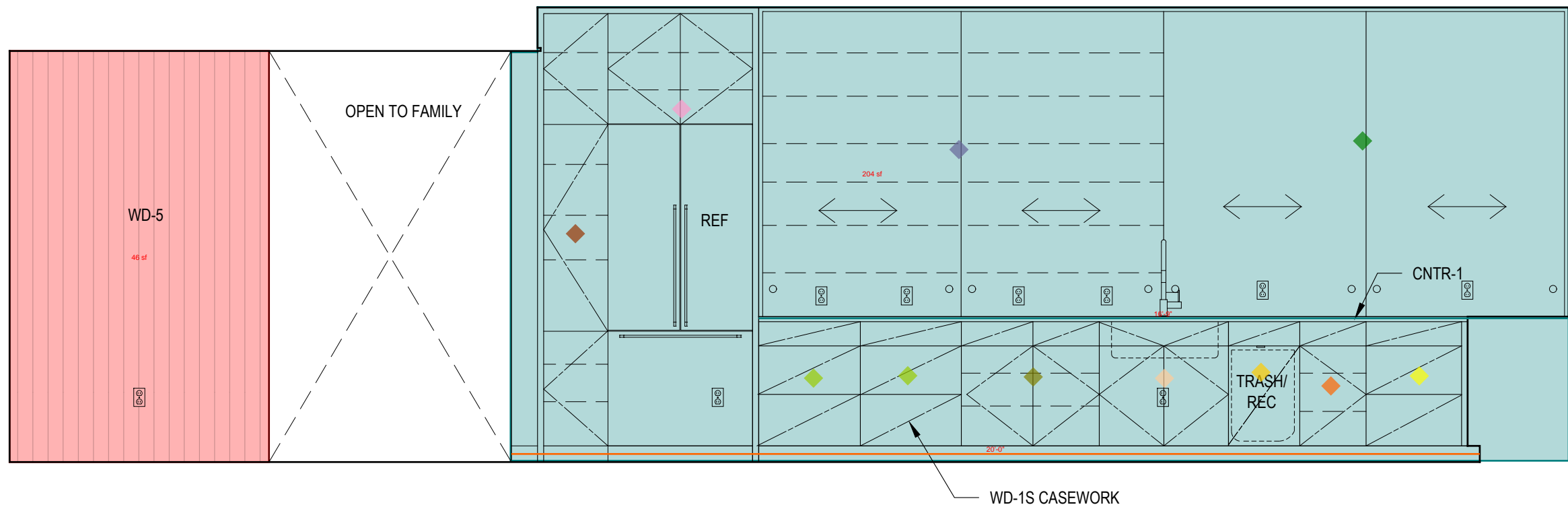
JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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A8.5
INTERIOR ELEVATIONS

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Legend		Description	Quantity	Unit
		Millwork - 2'-0" wide countertop for kitchen w/ CNTR-1 finish	24.41	ft
		Millwork - 4'-0" wide countertop at kitchen island w/ CNTR-3 finish	10.11	ft
		Millwork - Base cabinet at kitchen island w/ 3 drawers and WD-1S finish Size: 1'-9"W x 3'-0"H x 2'-0"D	2	Count
		Millwork - Base cabinet at kitchen island w/ 3 drawers and WD-1S finish Size: 2'-0"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen island w/ 3 drawers and WD-1S finish Size: 3'-1"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ 1 drawer, 2 shelves, 1 door and WD-1S finish Size: 1'-4"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ 1 drawer, equipment and WD-1S finish Size: 1'-6"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ 2 doors and WD-1S finish Size: 2'-8"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ 2 drawers, 2 shelves, 2 doors and WD-1S finish Size: 2'-10"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ 3 drawers and WD-1S finish Size: 2'-0"W x 3'-0"H x 2'-0"D	2	Count
		Millwork - Base cabinet at kitchen w/ 3 drawers and WD-1S finish Size: 2'-1"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ double door and WD-1S finish Size: 3'-0"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ single door and WD-1S finish Size: 0'-8"W x 3'-0"H x 2'-0"D	1	Count
		Millwork - Base cabinet at kitchen w/ single door for equioment and WD-1S finish Size: 2'-0"W x 3'-0"H x 2'-0"D	2	Count
		Millwork - Tall cabinet at kitchen w/ 2 shelves, 2 doors, equipment and WD-1S finish Size: 3'-1"W x 9'-5"H x 2'-0"D	1	Count
		Millwork - Tall cabinet at kitchen w/ 7 shelves, 3 doors and WD-1S finish Size: 1'-5"W x 9'-5"H x 2'-0"D	1	Count
		Millwork - Tall cabinet for Kitchen w/ 2 doors, 3 shelves, ovens and WD-1S finish Size: 2'-7"W x 9'-5"H x 2'-0"D	1	Count
		Millwork - Tall cabinet for Kitchen w/ 4 doors, 7 shelves and WD-1S finish Size: 2'-7"W x 9'-5"H x 2'-0"D	1	Count
		Millwork - Wall cabinet at kitchen w/ 2 doors and WD-1S finish Size: 8'-4"W x 6'-3"H x 1'-3"D	1	Count
		Millwork - Wall cabinet at kitchen w/ 6 shelves, 2 doors and WD-1S finish Size: 8'-4"W x 6'-3"H x 1'-3"D	1	Count
		Millwork - WD-1S fixed panels at kitchen island	40	sf
		Plumb - Cooktop	1	Count
		Wall finish - Base-1	61.56	ft
		Wall finish - Gyp-1	640	sf
		Wall finish - Gyp, Level 0, MU-2	157	sf
		Wall finish - GYP-1, painted wood trim	8	sf
		Wall finish - WD-5, 5/8" gypsum board, level 0 finish	46	sf
		Walls - 2x6 int. gable wall	114	sf



EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
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A8.7
INTERIOR ELEVATIONS

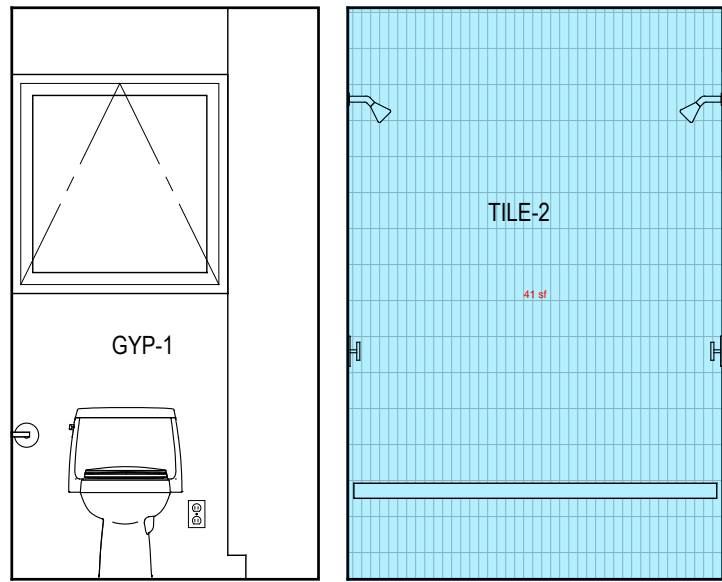
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FAR WEST
REMODEL

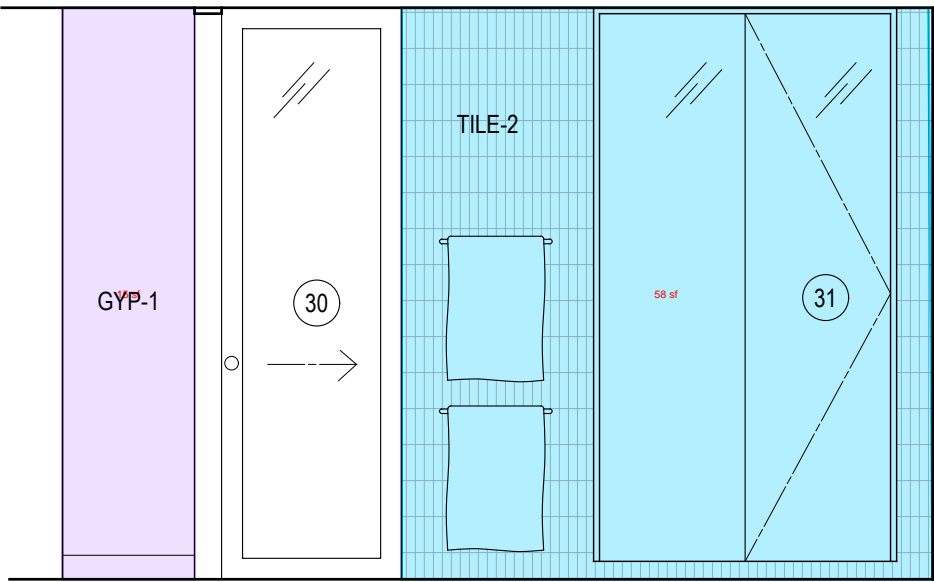
4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
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PERMIT	11.08.22
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FINAL PRICING	09.07.23

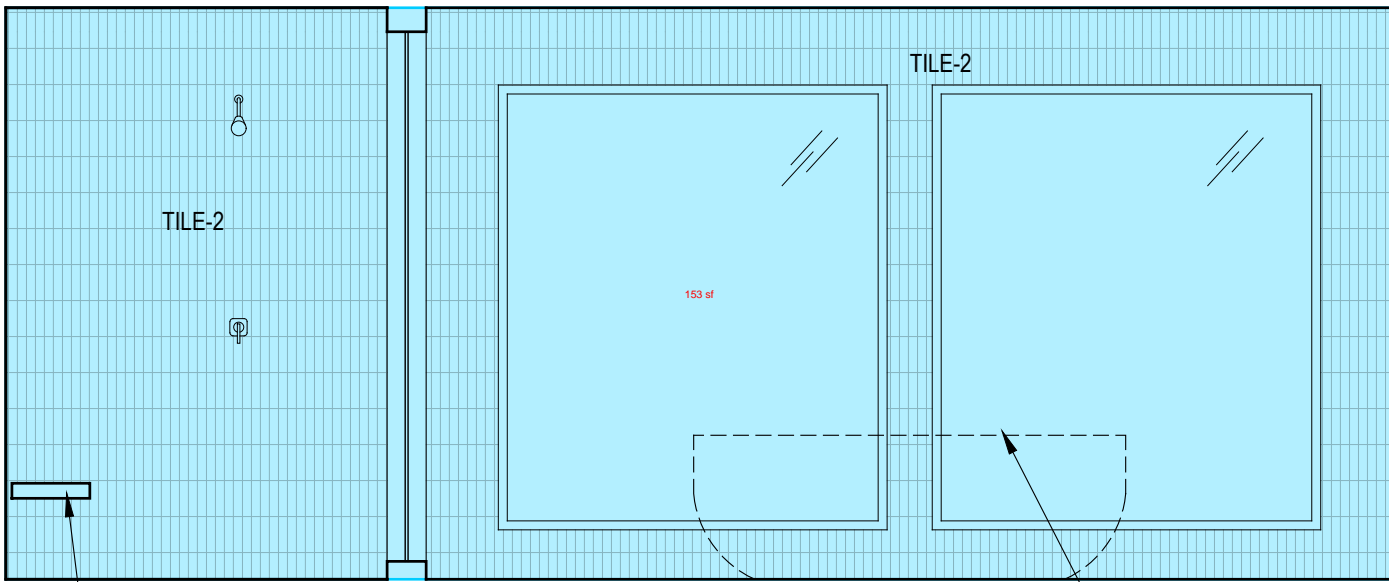
NOT FOR
PERMITTING,
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APPROVAL, OR
CONSTRUCTION



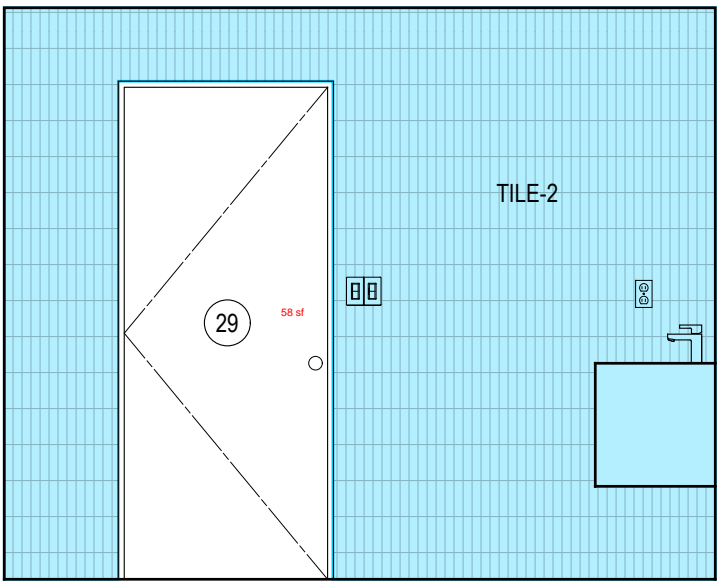
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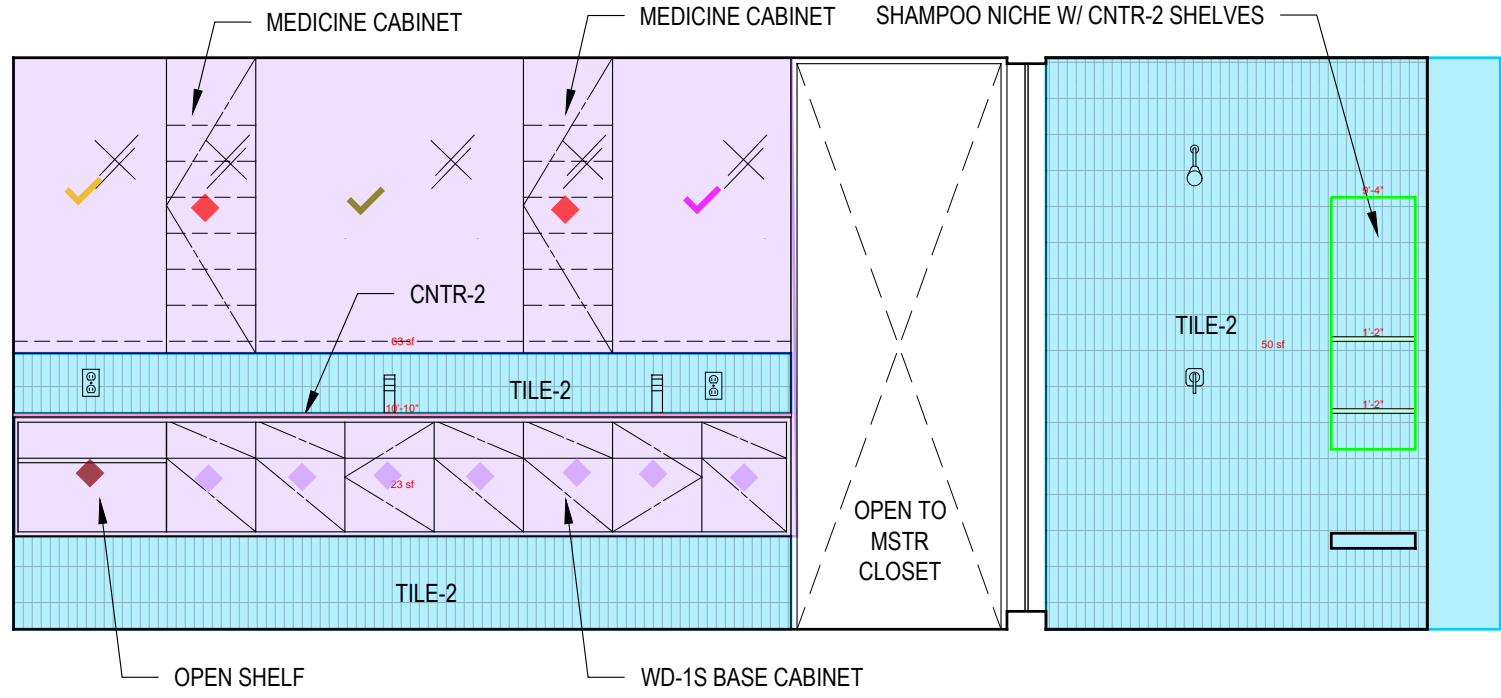
MASTER BATH - EAST 16
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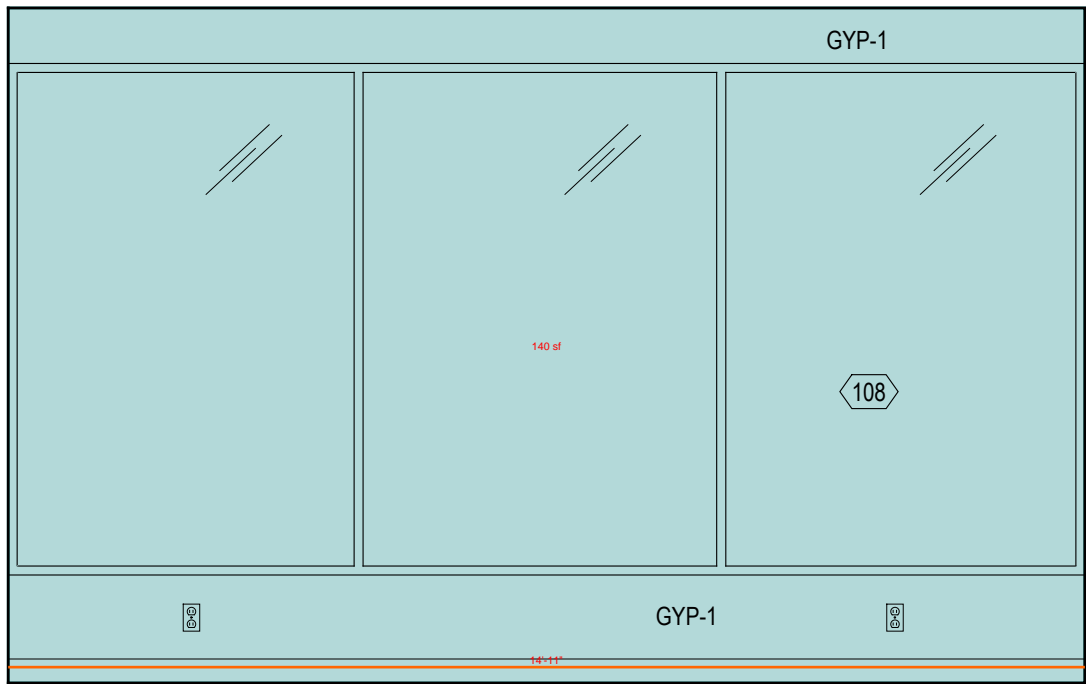
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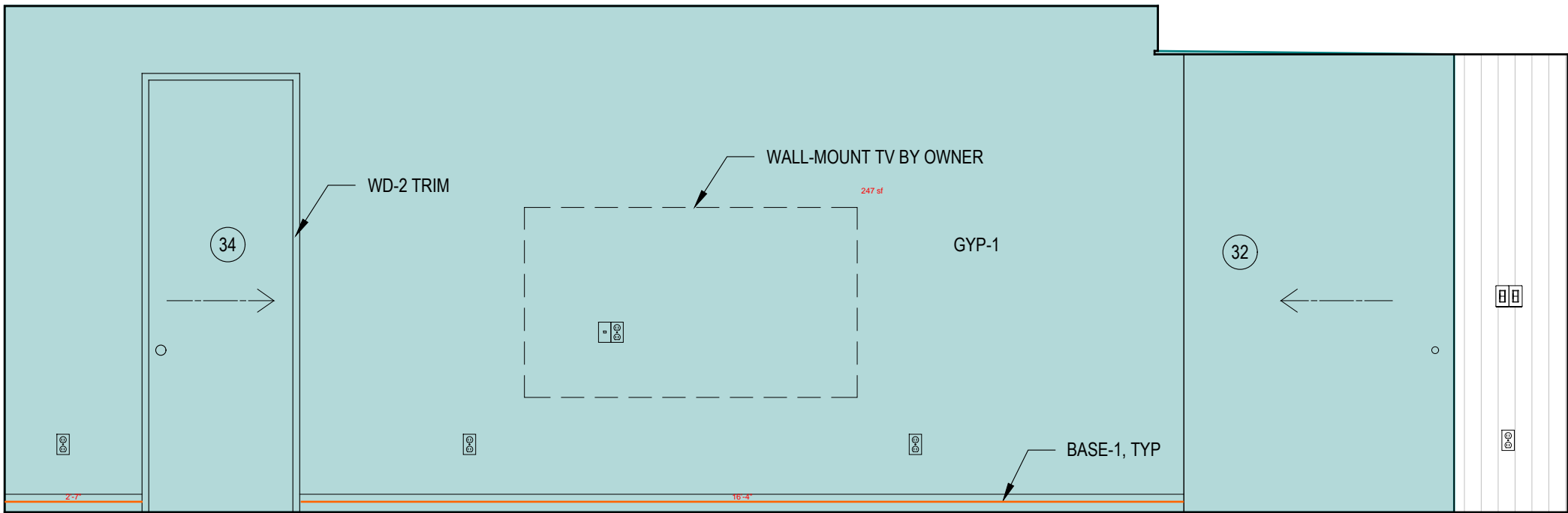
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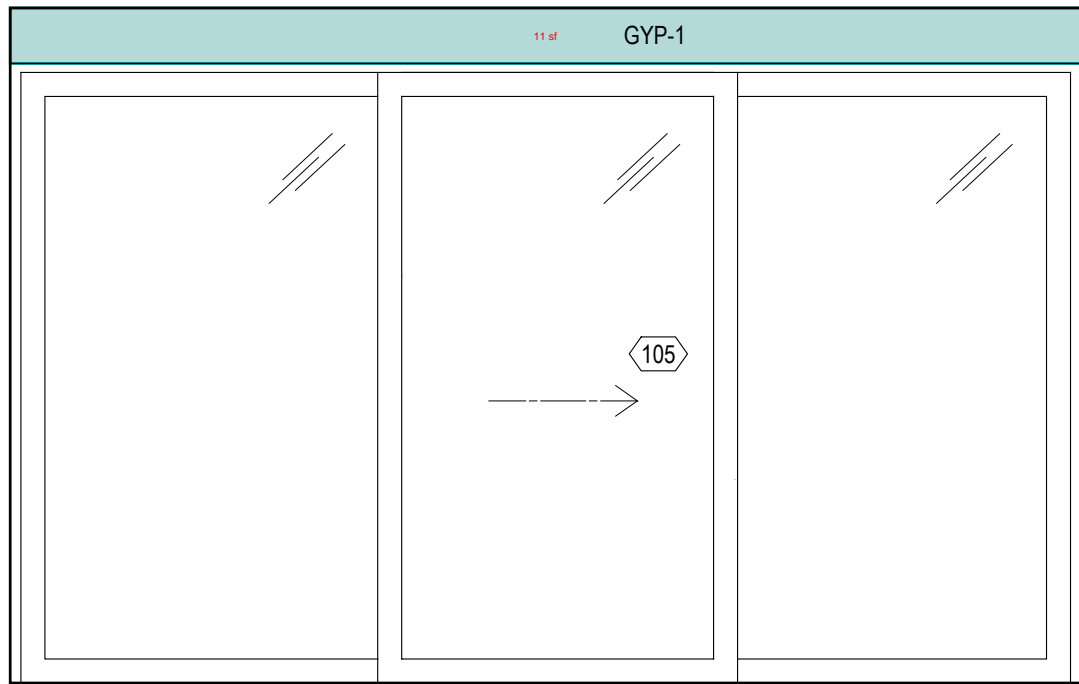
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FAMILY - EAST 12
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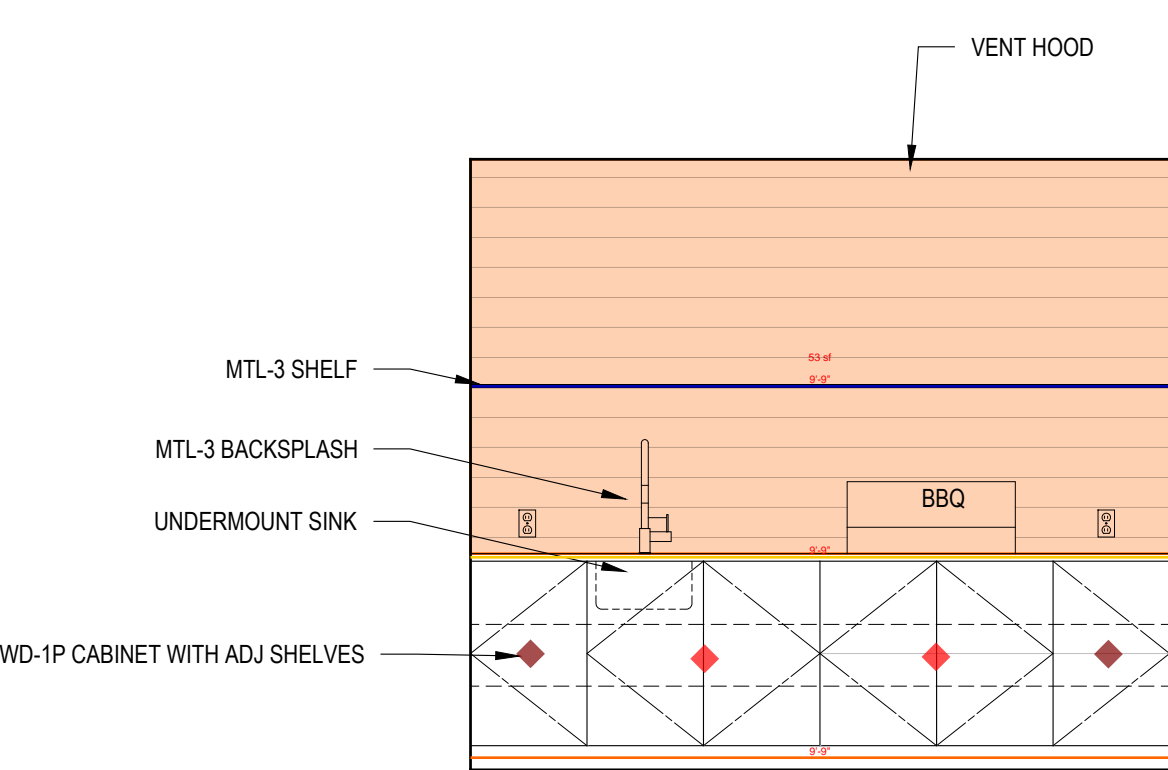
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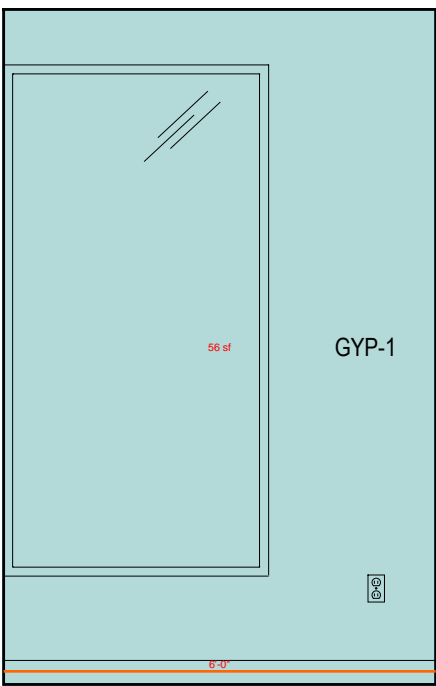
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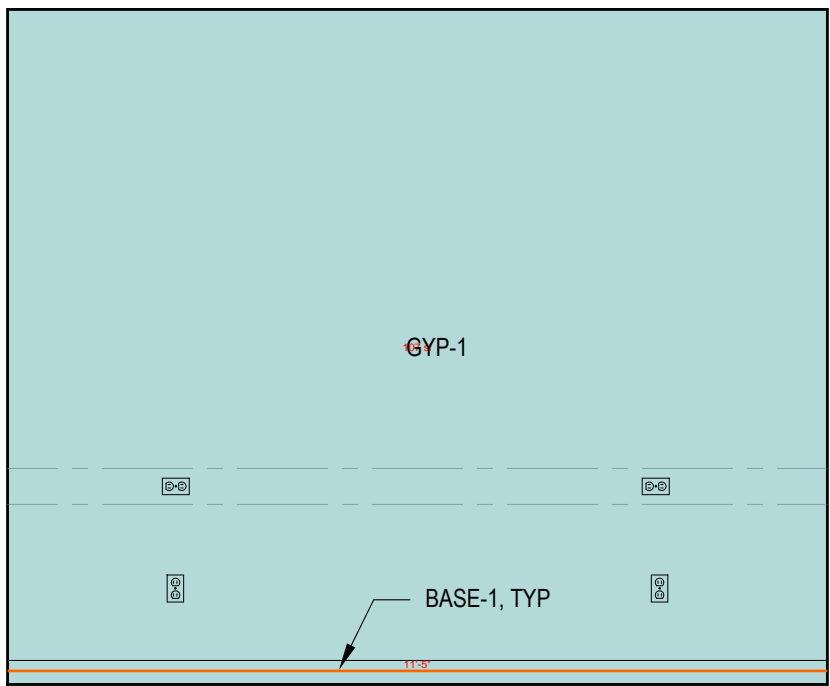
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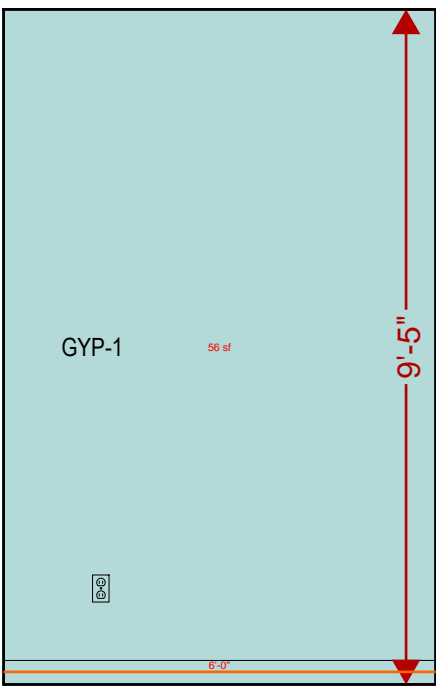
BBQ NICHE - EAST 05
0 1'-0" 2'-0" 4'-0"



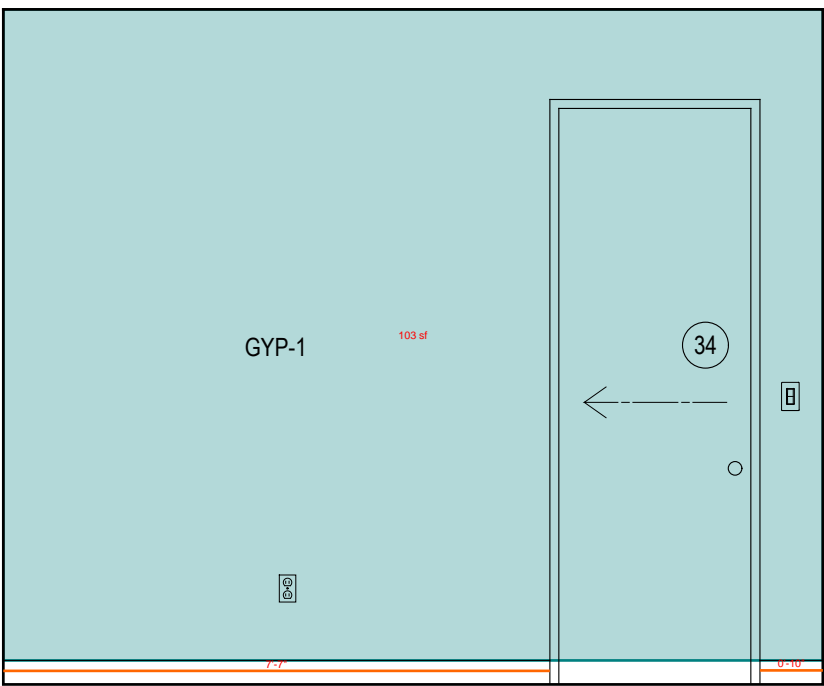
CLOSET - EAST 04
0 1'-0" 2'-0" 4'-0"



CLOSET - SOUTH 03
0 1'-0" 2'-0" 4'-0"



CLOSET - WEST 02
0 1'-0" 2'-0" 4'-0"



CLOSET - NORTH 01
0 1'-0" 2'-0" 4'-0"

Legend		
Description	Quantity	Unit
Millwork - 1'-0" wide shelf at BBQ niche w/ MTL-3 finish	9.71	ft
Millwork - 1'-8" wide countertop w/ CNTR-2 finish	10.80	ft
Millwork - 2'-0" wide countertop at BBQ niche w/ MTL-3 finish	9.71	ft
Millwork - Base cabinet at BBQ niche w/ 2 shelves, 1 door and WD-1P finish Size: 1'-7"W x 3'-0"H x 2'-0"D	2	Count
Millwork - Base cabinet at BBQ niche w/ 2 shelves, 1 door and WD-1P finish Size: 3'-3"W x 3'-0"H x 2'-0"D	2	Count
Millwork - Floating base cabinet w/ 1 drawer, 1 door and WD-1S finish Size: 1'-3"W x 1'-9"H x 1'-8"H	7	Count
Millwork - Medicine cabinet at master bath w/ mirror door Size: 1'-3"W x 4'-1"H x 0'-4"D	2	Count
Millwork - MTL-3 backsplash	53	sf
Millwork - Open floating base cabinet w/ 1 shelf and WD-1S finish Size: 2'-1"W x 1'-9"H x 1'-8"H	1	Count
Millwork - 4" wide niche shelves w/ CNTR-2 finish	2.33	ft
Special - Mirror w/ stainless steel 3/4" square frame, 25"x49"	1	Count
Special - Mirror w/ stainless steel 3/4" square frame, 30"x49"	1	Count
Special - Mirror w/ stainless steel 3/4" square frame, 45"x49"	1	Count
Wall finish - 5/8" water resistant gypsum board, Level 5	77	sf
Wall finish - Base-1	75.41	ft
Wall finish - Gyp-1	721	sf
Wall finish - Gyp, Level 0, MU-2	202	sf
Wall finish - MU-1: Paint	18	sf
Wall finish - Tile-2, 1/2" tile backer board	9.33	ft
Wall finish - Tile-2, 1/2" tile backer board	383	sf

NOTES:

1.) ALL WINDOWS ARE ILLUSTRATED AS VIEWED FROM THE EXTERIOR.
2.) ALL WINDOW DIMENSIONS ARE TO FRAME SIZE UNLESS OTHERWISE NOTED.
3.) ALL GLASS TO BE 1" LOW-E INSULATED, UNLESS NOTED OTHERWISE.
4.) PROVIDE TEMPERED GLAZING AT ALL AREAS REQUIRED BY APPLICABLE BUILDING CODE.

LEGEND:

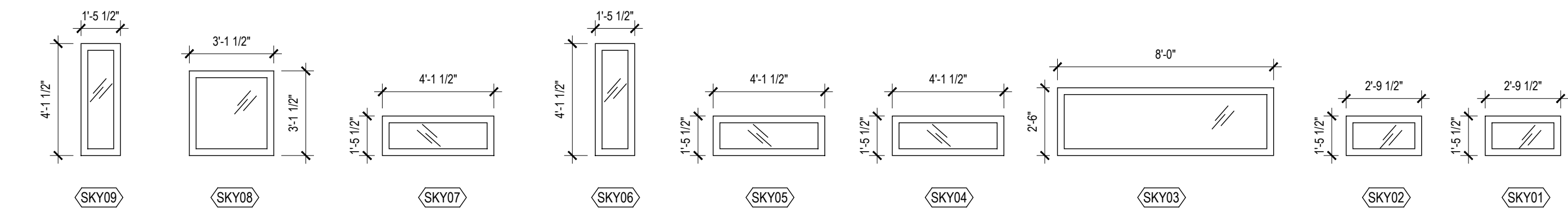
O X E
FIXED OPERABLE EGRESS

WILDLAND URBAN INTERFACE NOTES

1.) THIS PROJECT WILL MEET THE REQUIREMENTS OF THE 2015 WILDLAND-URBAN INTERFACE CODE AND WILL BE CONSTRUCTED TO THE CLASS A IGNITION-RESISTANT REQUIREMETNS OF THIS CODE. PLEASE SEE APPROVED MATERIAL INDEX FOR CONSTRUCTION REQUIREMENTS AND MATERIAL TO BE USED.

2.) EXTERIOR GLAZING WILL HAVE A FIRE PROTECTION RATING OF 20 MINUTES OR MORE IN ACCORDANCE WITH IWUIC 504.8 (AMENDED)

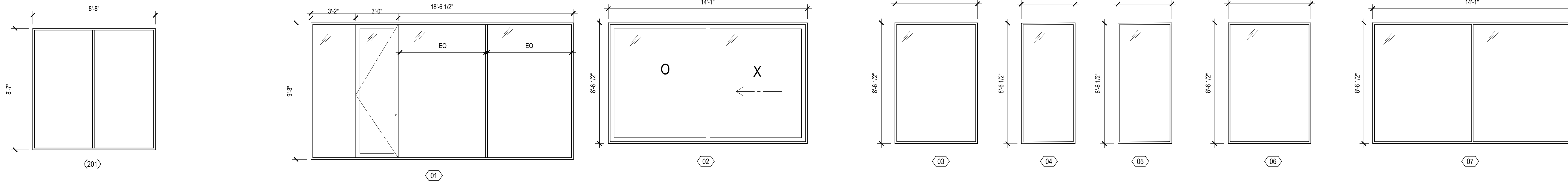
3.) EXTERIOR DOORS WILL HAVE A 20 MINUTE OR MORE FIRE RATING AND CONSTRUCTED WITH NONCOMBUSTIBLE MATERIALS IN ACCORDANCE WITH IWUIC 504.9 (AMENDED). SECTION 504.9 IS COPIED BELOW.



SKYLIGHT SCHEDULE

0 2'-0" 4'-0" 8'-0"

03
-



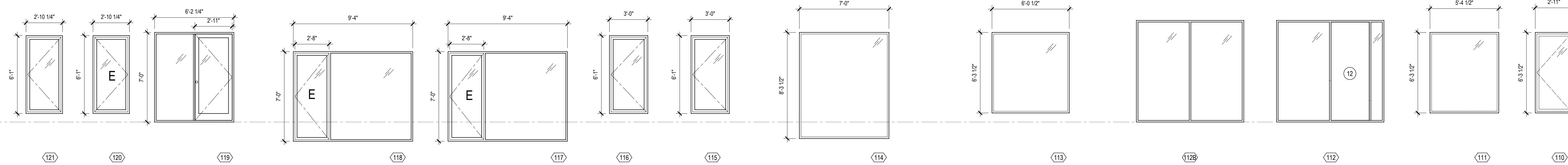
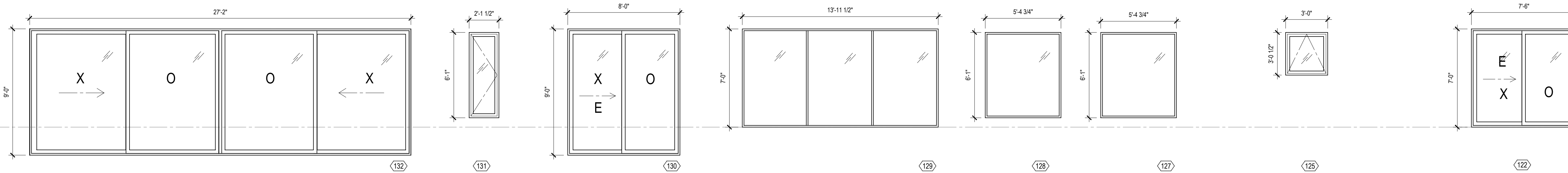
WINDOW SCHEDULE - CLERESTORY

0 2'-0" 4'-0" 8'-0"

WINDOW SCHEDULE - LOWER LEVEL

0 2'-0" 4'-0" 8'-0"

02
-



WINDOW SCHEDULE - MAIN LEVEL

0 2'-0" 4'-0" 8'-0"

01
-

EASY/A

1804 E 40TH ST
AUSTIN, TX 78722
512-413-0273

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
SPE	10.27.22
PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

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PERMITTING,
REGULATORY
APPROVAL, OR
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A11.1
WINDOW SCHEDULE

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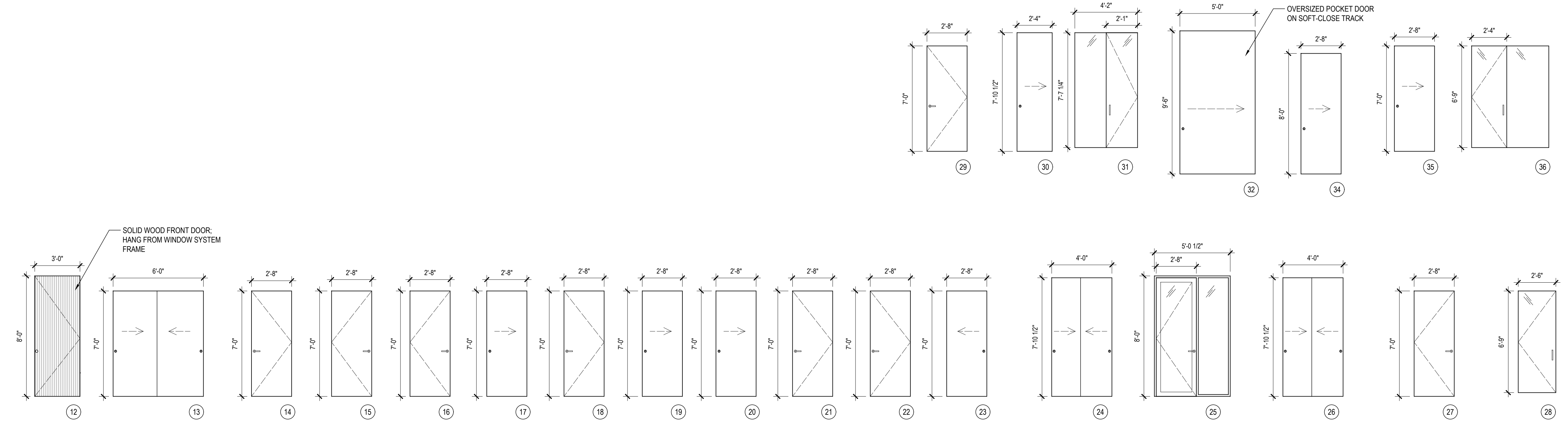
FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

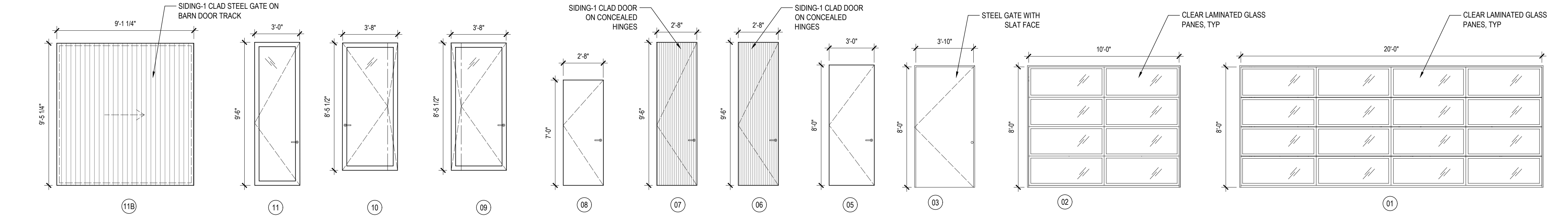
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APPROVAL, OR
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WILDLAND URBAN INTERFACE NOTES	DOOR NOTES:
1.) THIS PROJECT WILL MEET THE REQUIREMENTS OF THE 2015 WILDLAND-URBAN INTERFACE CODE AND WILL BE CONSTRUCTED TO THE CLASS A IGNITION-RESISTANT REQUIREMETNS OF THIS CODE. PLEASE SEE APPROVED MATERIAL INDEX FOR CONSTRUCTION REQUIREMENTS AND MATERIAL TO BE USED.	1.) SEE FLOOR PLAN FOR DOOR LOCATIONS AND SWINGS
2.) EXTERIOR GLAZING WILL HAVE A FIRE PROTECTION RATING OF 20 MINUTES OR MORE IN ACCORDANCE WITH IWUIC 504.8 (AMENDED)	2.) ALL DOOR DIMENSIONS ARE PANEL SIZES, UNLESS OTHERWISE NOTED
3.) EXTERIOR DOORS WILL HAVE A 20 MINUTE OR MORE FIRE RATING AND CONSTRUCTED WITH NONCOMBUSTIBLE MATERIALS IN ACCORDANCE WITH IWUIC 504.9 (AMENDED). SECTION 504.9 IS COPIED BELOW.	3. ALL INTERIOR SWING DOORS AND POCKET DOORS ARE TO BE 1 3/4" THICK, UNLESS OTHERWISE NOTED.
	4.) ALL DOORS OVER 7' TALL TO HAVE 4 HINGES.
	5.) ALL DOORS OVER 8' TALL TO BE 2 1/4" THICK MINIMUM.
	6) ALL INTERIOR DOOR UNITS ARE AS VIEWED FROM THE HALLWAY.
	7. PROVIDE TEMPERED GLAZING AT ALL AREAS REQUIRED BY APPLICABLE BUILDING CODE
	8) ALL DOOR MATERIALS ARE TO BE THE SAME ON BOTH SIDES, UNLESS OTHERWISE NOTED.
	9) PROVIDE TEMPERED GLAZING AT ALL AREAS REQUIRED BY APPLICABLE BUILDING CODE

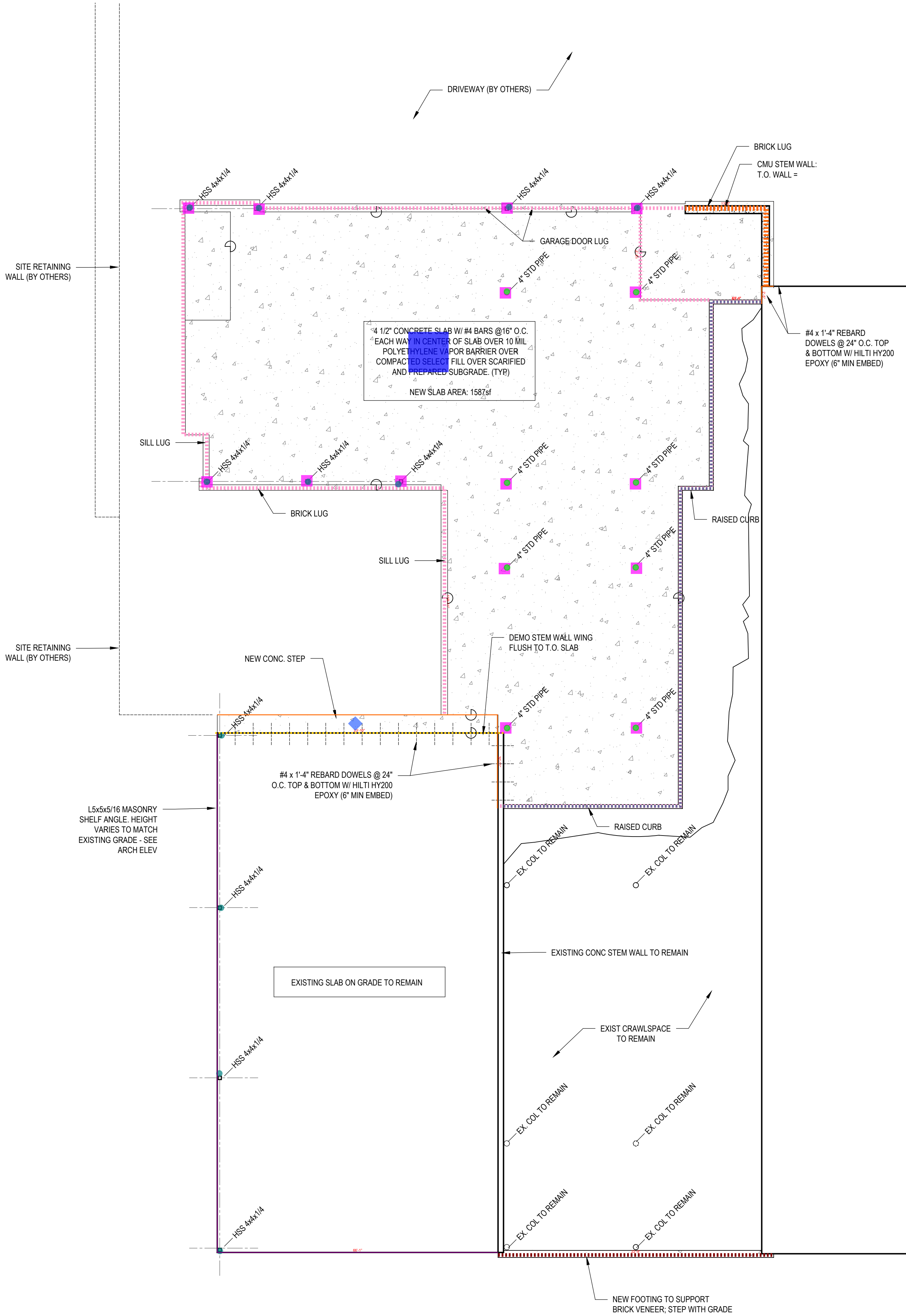


DOOR SCHEDULE - MAIN LEVEL



DOOR SCHEDULE - LOWER LEVEL





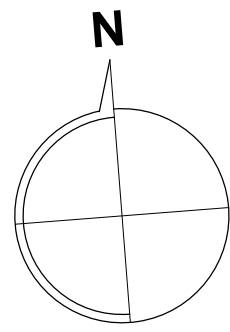
Legend		Quantity	Unit
—	Demo - Existing stem wall to be removed at its entirety	23.83	ft
●	FF - 4" STD pipe posts - 9'	8	Count
●	FF - Posts - HSS4x4x1/4 - 9'	11	Count
—	Footing - 0'-8"W x 2'-4"D concrete footing w/ standard reinforcement	22.78	ft
—	Footing - 1'-0"W x 2'-4"D concrete footing w/ standard reinforcement	196.48	ft
■	Footing - 2'-0" x 2'-0" x 1'-0" concrete pad footing w/ standard reinforcement	15	Count
—	Footing - 4"W x 4"Deep raised curb	63.01	ft
—	Lintel - L5x5x5/16 masonry shelf angle	66.12	ft
—	Slab - #4x1'-4" rebars dowels @ 24" o.c. top and bottom w/ Hilti HY200 Epoxy	33.34	ft
■	Slab - 4-1/2" concrete slab w/ #4 bars @ 16" o.c. each way over 10 mil polyethylene vapor barrier over compacted fill (1587 SF)	1	Count
◆	Stair - 1'-6"x23'-3" x 0'-7" concrete step w/ standard reinforcement	1	Count
—	Walls - 8" thick CMU wall, 11'-9" high	13.14	ft

FAR WEST
REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

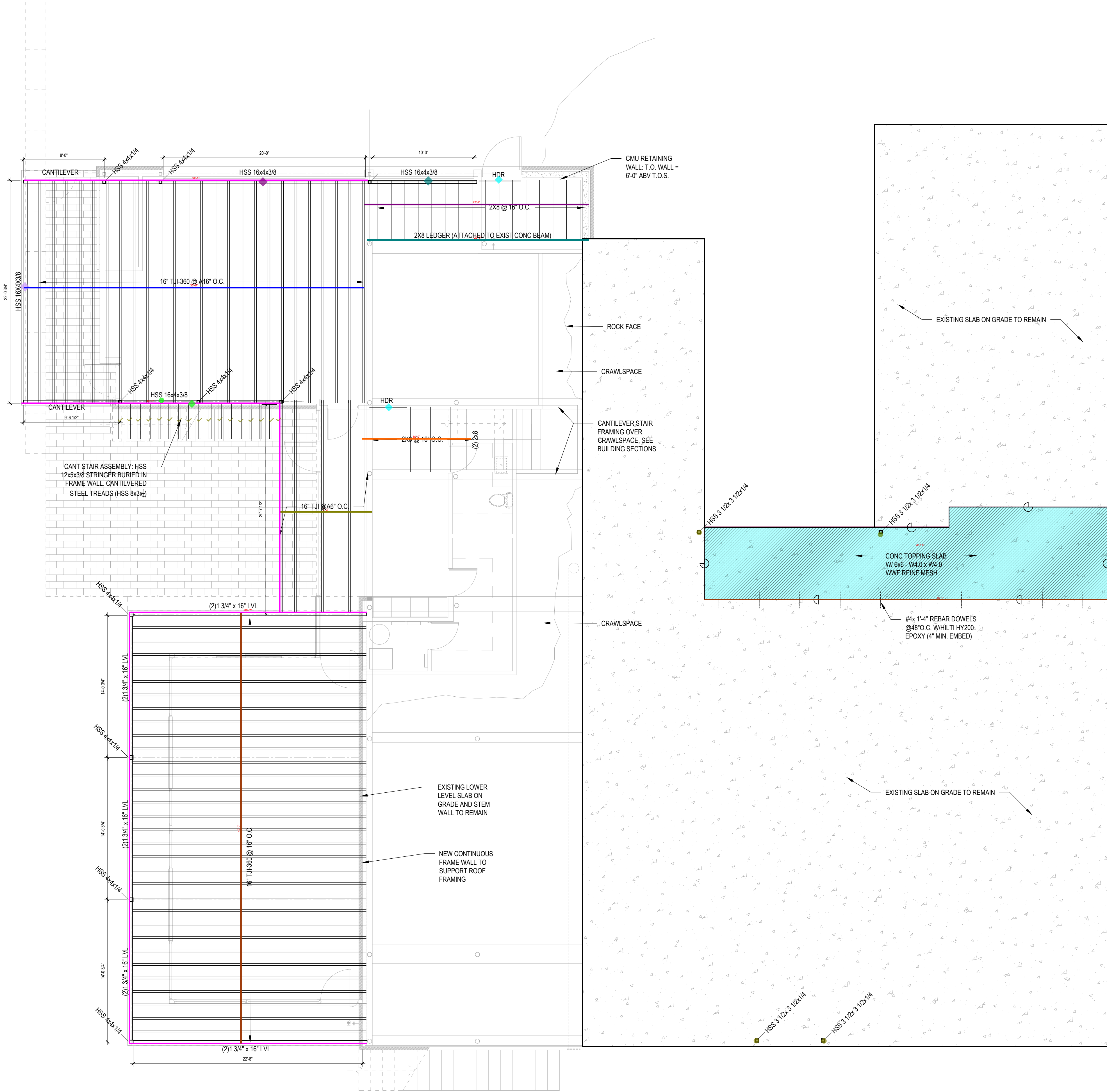
JOB:	4315
SCALE:	AS NOTED
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F0

FOUNDATION PLAN



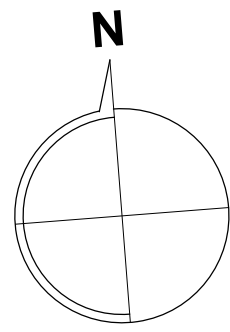
Legend		Quantity	Unit
FF - (2)1-3/4"x16" LVL - 16'		169.92	ft
FF - 2x8 joists @ 16" o.c - 6'-5"L		10.79	ft
FF - 2x8 joists @ 16" o.c - 7'-0"L		22.20	ft
FF - 2x8 ledger - 16'		21.96	ft
FF - 16" TJI-360 @ 16" o.c - 21'-0"L, blocking		9.21	ft
FF - 16" TJI-360 @ 16" o.c - 22'-0"L, blocking		33.69	ft
FF - 16" TJI-360 @ 16" o.c - 23'-4"L, blocking		42.61	ft
FF - Beams - HSS16x4x3/8 - 8'		1	Count
FF - Beams - HSS16x4x3/8 - 10'		1	Count
FF - Beams - HSS16x4x3/8 - 20'		1	Count
FF - Beams - HSS16x4x3/8 - 22'		1	Count
FF - Posts - HSS3-1/2x3-1/2x1/4 - 9'		5	Count
Slab - #4x1'-4" rebars dowels @ 24" o.c.w/ Hilti HY200 Epoxy		46.73	ft
Slab - Concrete topping slab w/ 6x6-W4.0xW4.0 WWF reinf. mesh		318	sf
Stairs - Stringer - HSS12x5x3/8 - 20'		1	Count
Stairs - Treads - HSS8x3x1/4 - 4'		17	Count
Walls - Header - 5'		2	Count

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
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PERMIT	11.08.22
PRICING DOCUMENTS	03.13.23
FINAL PRICING	09.07.23

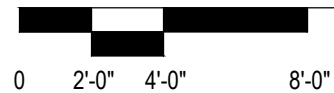
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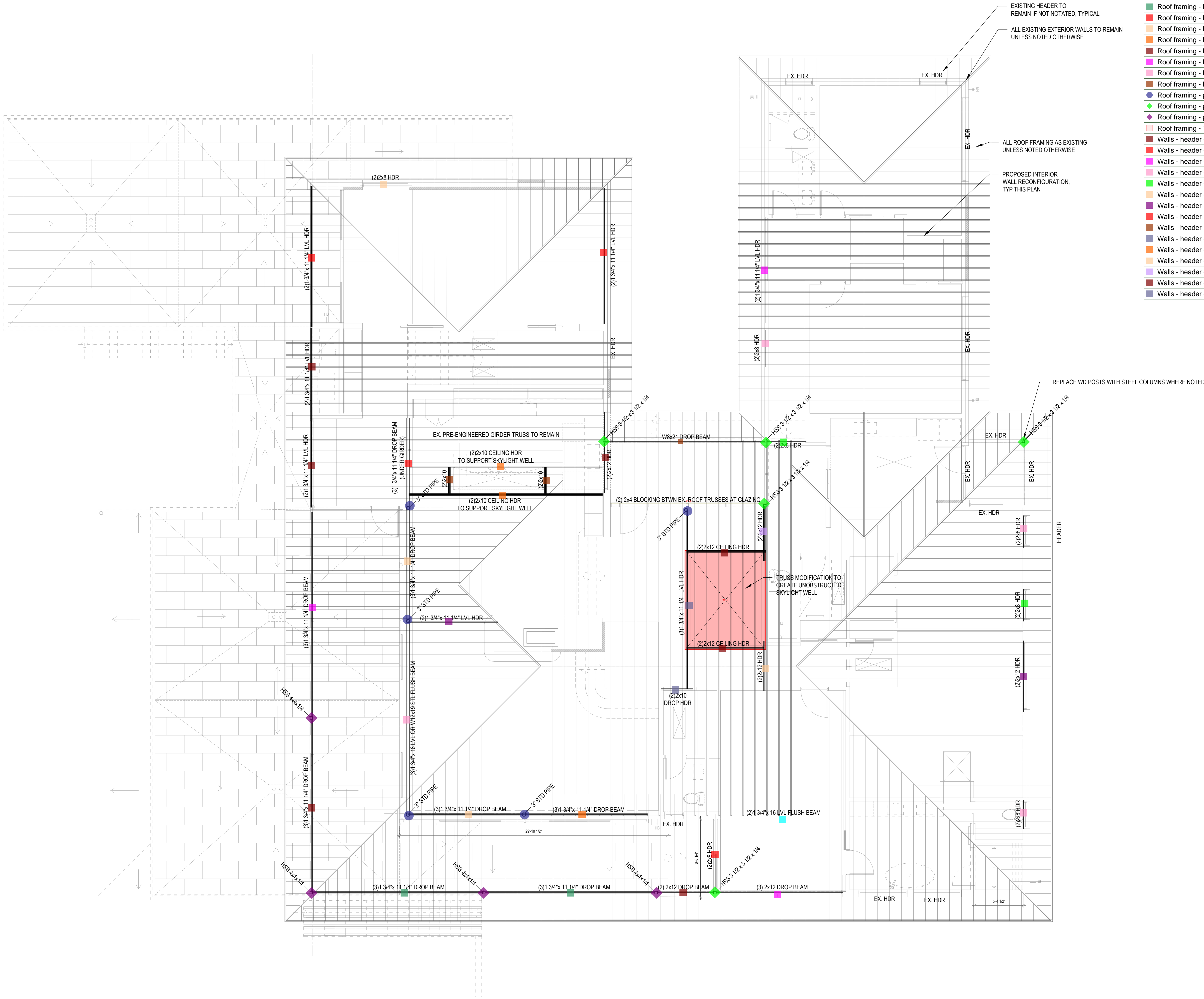
F1

LOWER LEVEL FRAMING

FRAMING PLAN - LOWER LEVEL



SCALE: 3/16" = 1'-0" ON
SCALE: 3/32" = 1'-0" ON 22X38



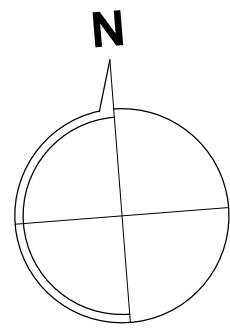
Legend		
Description	Quantity	Unit
Roof framing - (2)2x4 blocking	17.50	ft
Roof framing - Beams - (2)1-3/4"x11-1/4" LVL - 10'	1	Count
Roof framing - Beams - (2)1-3/4"x16 LVL - 15'	1	Count
Roof framing - Beams - (2)2x12 - 7'	1	Count
Roof framing - Beams - (2)2x12 - 15'	1	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" - 20'	2	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" LVL - 10'	1	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" LVL - 13'	2	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" LVL - 14'	1	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" LVL - 19'-6"	1	Count
Roof framing - Beams - (3)1-3/4"x11-1/4" LVL - 23'-4"	1	Count
Roof framing - Beams - (3)1-3/4"x18" LVL OR W12x19 - 22'	1	Count
Roof framing - Beams - W8x21 - 19'	1	Count
Roof framing - posts - 3" dia STD pipe- 9'	5	Count
Roof framing - posts - HSS3-1/2x3-1/2x1/4 - 9'	5	Count
Roof framing - posts - HSS4x4x1/4 - 9'	4	Count
Roof framing - Truss modification to provide unobstructed skylight well	99	sf
Walls - header - (2)1-3/4"x11-1/4" LVL - 10'	2	Count
Walls - header - (2)1-3/4"x11-1/4" LVL - 16'	2	Count
Walls - header - (2)1-3/4"x11-3/4" LVL - 14'	1	Count
Walls - header - (2)2x8 - 4'	3	Count
Walls - header - (2)2x8 - 5'	2	Count
Walls - header - (2)2x8 - 6'	1	Count
Walls - header - (2)2x8 - 8'	1	Count
Walls - header - (2)2x8 - 9'	1	Count
Walls - header - (2)2x10 - 3'	2	Count
Walls - header - (2)2x10 - 4'	1	Count
Walls - header - (2)2x10 - 22'	2	Count
Walls - header - (2)2x12 - 6'	1	Count
Walls - header - (2)2x12 - 7'	1	Count
Walls - header - (2)2x12 - 9'	3	Count
Walls - header - (3)1-3/4"x11-1/4" LVL - 20'	1	Count

FAR WEST REMODEL

4315 FAR WEST BLVD
AUSTIN, TX 78731

JOB:	4315
SCALE:	AS NOTED
RECORD:	
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PRICING DOCUMENTS	03.13.23
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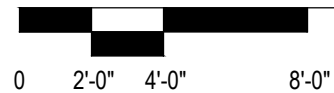


F2

MAIN LEVEL FRAMING PLAN

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FRAMING DIAGRAM - UPPER LEVEL



SCALE: 3/16" = 1'-0" ON
SCALE: 3/32" = 1'-0" ON 22X36